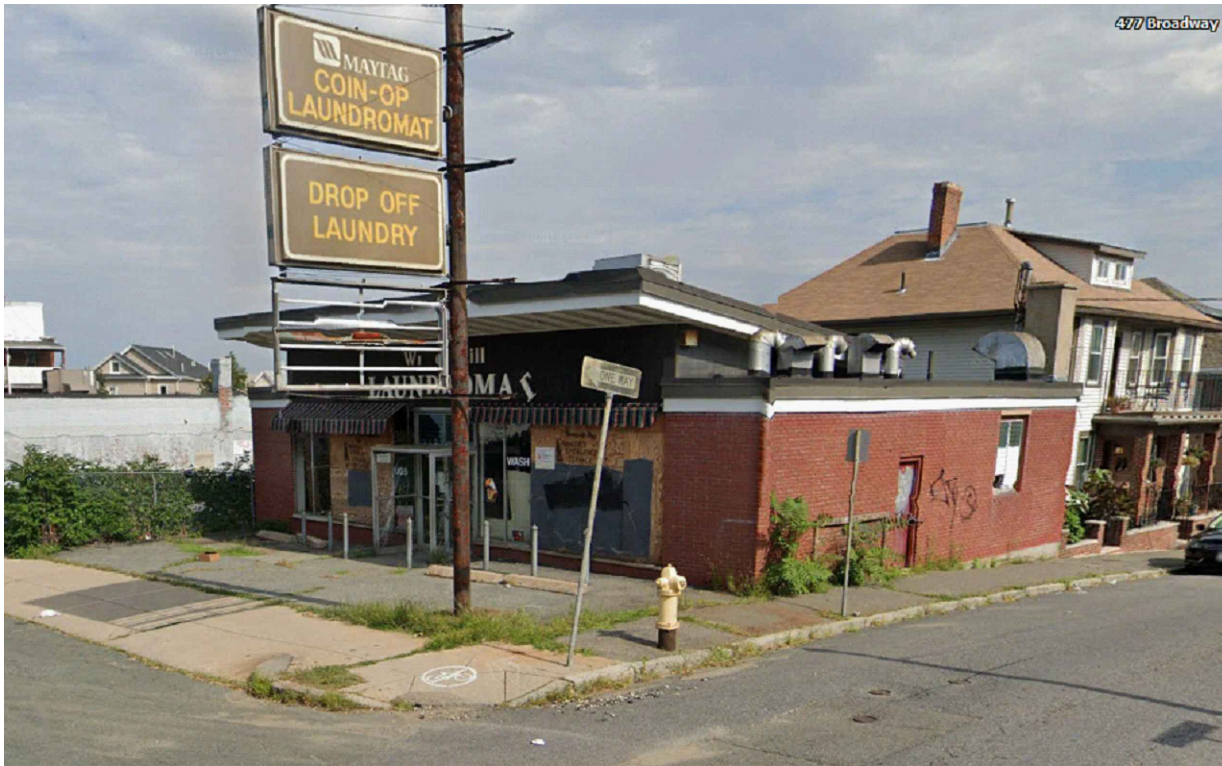


BUILDING EXPANSION AND SECOND FLOOR ADDITION

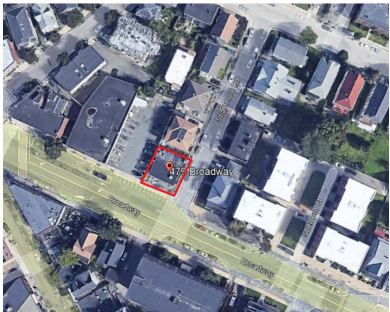
483 BROADWAY , SOMERVILLE MA 02145



EXISTING BUILDING



PROPOSED BUILDING

| PROJECT DIRECTORY | GENERAL NOTES | | LOCUS MAP | ZONING | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|---|----------------------------|--|--|---|--------------------------|--|--|--|--|------------------|----------|--|----------|------|-----|-----------------|--|-----------------|--------------|-----------|----------|--|----------|---------------------|-----|-----|--|-------|---------------------------------|-----|------|--|-----|--------------------------------------|-----|------|--|-------|----------------|-------|---------|--|---------|---------------|-------|---------|--|---------|---------------|-------|------|-------|---------|------|--------|---------|--------|-----|------|--|------|--------------|-------|-------|--|-------|-------------------|---|---|--|---|-----------------|-----|----------------------------|--|-----------------------------|
| OWNER John Wood 483 Broadway, Somerville, MA 02145. | <div>1. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECTS OF ALL DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS.</div> <div>2. THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS THAT MAY APPLY TO THE CONSTRUCTIONS OF THE PROJECT.</div> <div>3. ALL WORK OF THIS PROJECT SHALL COMPLY WITH ACCEPTED BUILDING PRACTICES AND ALL CODES HAVING JURISDICTION OVER THIS PROJECT.</div> <div>4. REFER TO LIMITS OF WORK DRAWINGS FOR OVERALL DESCRIPTION OF WORK AREAS.</div> <div>5. THE GENERAL CONTRACTOR SHALL LEAVE THE PROJECT SITE AND ALL SURROUNDING AREAS IN FINAL CLEAR CONDITION INCLUDING THE REMOVAL OF ALL DEBRIS RESULT FROM CONSTRUCTION.</div> <div>6. THE CONTRACTOR SHALL AT ALL TIMES DURING THE PROGRESS OF THE WORK REMOVE ALL CONSTRUCTION DEBRIS AND MAINTAIN A DUST FREE ENVIRONMENT FOR ALL ADJACENT AREAS.</div> <div>7. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND VERIFY THAT ALL CUTTING AND PATCHING REQUIRED FOR THE INSTALLATION OF ALL MATERIALS BY ALL TRADES IS PROPERLY EXECUTED.</div> <div>8. THE CONTRACTOR SHALL UTILIZE THE AREAS WITHIN THE SCOPE OF WORK FOR STORAGE OF MATERIALS AND TOOLS.</div> <div>9. ALL WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER ALL OTHERS. DO NOT SCALE DRAWINGS, IF THERE IS A QUESTIONS OR CONFLICT IN DIMENSIONS, NOTIFY THE ARCHITECT FOR CLARIFICATION.</div> <div>10. VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK. THE CONTRACT DRAWINGS ARE COMPLIMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE BIDDING AS IF REQUIRED BY ALL THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK.</div> <div>11. DIMENSIONS ARE TO CENTER LINES, EXISTING BUILDING GIRID LINES OR TO FACE OF FINISHED SURFACE UNLESS OTHERWISE NOTED.</div> <div>12. ALL GYPSUM WALL BOARD CONSTRUCTION SHALL CONFORM TO RECOMMENDATIONS, PRACTICES, STANDARDS AND INSTRUCTIONS PUBLISHED BY U.S. GYPSUM COMPANY IN THE GYPSUM CONSTRUCTION HANDBOOK.</div> | | <div>13. ALL FINISHED WORK SHALL BE FREE OF DEFECTS. THE OWNER RESERVES THE RIGHT TO REJECT ANY MATERIALS AND WORKMANSHIP WHICH ARE NOT CONSIDERED TO BE AT THE HIGHEST STANDARDS OF THE VARIOUS TRADES INVOLVED.</div> <div>14. NO CHANGES OR SUBSTITUTIONS ARE ALLOWED UNLESS APPROVED BY THE ARCHITECT.</div> <div>15. ANY MODIFICATION OF THESE CONSTRUCTION DOCUMENTS MUST BE APPROVED BY SOUSA DESIGN IN WRITING.</div> <div>16. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SAMPLES AND SUBMITTALS FOR ALL ITEMS OF WORK PRIOR TO THEIR INCLUSION TO THE ARCHITECT.</div> <div>17. IN ALL CASES OF CONFLICT, THE ARCHITECTURAL DRAWINGS GOVERN. FOR LAYOUT, ALL CONFLICTS ARE TO BE IMMEDIATELY REPORTED TO THE ARCHITECT.</div> <div>18. ALL MATERIALS REQUIRE A SUBMITTAL TO THE ARCHITECT FOR APPROVAL.</div> <div>19. ALL WORK TO BE DONE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. ARCHITECT SHALL BE NOTIFIED OF ANY DEVIATIONS FROM ORIGINAL DRAWING SET.</div> <div>20. ALL UNUSED / ABANDONED FLOOR & WALL OPENINGS SHALL BE SEALED AND FIRESTOPPED TO SPECIFIED ASSEMBLY.</div> <div>21. ALL MECHANICAL, ELECTRICAL, PLUMBING ENGINEERING SHALL BE PROVIDED BY OTHERS AND IS NOT PART OF OR COORDINATED WITH THIS ARCHITECTURAL CONSTRACT DOCUMENT/ DRAWINGS.</div> <div>22. ALL MECHANICAL, ELECTRICAL, PLUMBING ENGINEERING SHALL BE IN ACCORDANCE WITH MASSACHUSETTS BUILDING AND FIRE SAFETY CODES INCLUDING THE FEDERAL, STATE AND LOCAL REGULATORY RULES AND SHALL BE COORDINATE BY GENERAL CONTRACTOR AND SUBCONTRACTORS.</div> <div>23. GC AND SUBS SHALL COORDINATE ALL MECHANICAL, ELECTRICAL, PLUMBING, CONDITIONS, AND AREAS WITH A PROFESSIONAL MECHANICAL, ELECTRICAL, PLUMBING, ENGINEER AS REQUIRED. THIS COORDINATION SHALL SUBS. THIS INCLUDES BUT IS NOT LIMITED TO FLOOR AND CEILING PENETRATIONS THROUGH FLOOR/ CEILING ASSEMBLIES.</div> | <div></div> <div>SHEET LIST:</div> <div>A101 - ZONING TABLE</div> <div>A102- GROSS AREA DIAGRAM</div> <div>A103- SITE USE PLAN</div> <div>A104- GROUND COVERAGE</div> <div>A105- LANDSCAPE PLAN</div> <div>A106- ILLUSTRATIVE PLAN</div> <div>A107- TRANSPORTATION ELEMENTS PLAN</div> <div>A108- VEHICLE MOVEMENT & ACCESS PLAN</div> <div>A109- EXISTING PLANS</div> <div>A110- DEMOLITION PLANS</div> <div>A111- PROPOSED BASEMENT PLAN</div> <div>A112- PROPOSED FIRST FLOOR PLAN</div> <div>A113- PROPOSED SECOND FLOOR PLAN</div> <div>A114- ROOF PLAN</div> <div>A115- ROOF PLAN W/ MECHANICAL UNITS</div> <div>A116- FRONT ELEVATION</div> <div>A117- RIGHT ELEVATION</div> <div>A118- FENESTRATION DIAGRAM</div> <div>A119- SECTIONS</div> <div>A120- EXIST. CONDITIONS - PHOTOS</div> <div>A121- PROPOSED RENDERINGS</div> <div>A122 - OVERALL STRUCTURAL</div> | <table><tr><th colspan="4">ZONING DIMENTIONAL TABLE</th></tr><tr><th></th><th>ALLOWED/REQUIRED</th><th colspan="2">EXISTING</th><th>PROPOSED</th></tr><tr><td>ZONE</td><td>MR4</td><td colspan="2">COMMERCIAL BLD.</td><td>COMMERCIAL BLD.</td></tr><tr><td>MIN LOT SIZE</td><td>10,000 SF</td><td colspan="2">5,000 SF</td><td>5,000 SF</td></tr><tr><td>MAX GROUND COVERAGE</td><td>90%</td><td colspan="2">27%</td><td>34.2%</td></tr><tr><td>MIN LANDSCAPE PERCENTAGE OF LOT</td><td>25%</td><td colspan="2">46 %</td><td>32%</td></tr><tr><td>MIN PERVIOUS AREA, PERCENTAGE OF LOT</td><td>35%</td><td colspan="2">46 %</td><td>63.2%</td></tr><tr><td>MIN FRONT YARD</td><td>15 ft</td><td colspan="2">16.6 ft</td><td>16.6 ft</td></tr><tr><td>MIN BACK YARD</td><td>20 ft</td><td colspan="2">33.3 ft</td><td>25.1 ft</td></tr><tr><td rowspan="2">MIN SIDE YARD</td><td rowspan="2">10 ft</td><td>EAST</td><td>16 ft</td><td>13.6 ft</td></tr><tr><td>WEST</td><td>6.5 ft</td><td>10.3 ft</td></tr><tr><td>F.A.R.</td><td>1.0</td><td colspan="2">0.56</td><td>0.83</td></tr><tr><td>MIN FRONTAGE</td><td>50 ft</td><td colspan="2">50 ft</td><td>50 ft</td></tr><tr><td>FULL SIZE PARKING</td><td>6</td><td colspan="2">2</td><td>2</td></tr><tr><td>BUILDING HEIGHT</td><td>40'</td><td colspan="2">37.4' (FROM AVERAGE GRADE)</td><td>37.76' (FROM AVERAGE GRADE)</td></tr></table> | ZONING DIMENTIONAL TABLE | | | | | ALLOWED/REQUIRED | EXISTING | | PROPOSED | ZONE | MR4 | COMMERCIAL BLD. | | COMMERCIAL BLD. | MIN LOT SIZE | 10,000 SF | 5,000 SF | | 5,000 SF | MAX GROUND COVERAGE | 90% | 27% | | 34.2% | MIN LANDSCAPE PERCENTAGE OF LOT | 25% | 46 % | | 32% | MIN PERVIOUS AREA, PERCENTAGE OF LOT | 35% | 46 % | | 63.2% | MIN FRONT YARD | 15 ft | 16.6 ft | | 16.6 ft | MIN BACK YARD | 20 ft | 33.3 ft | | 25.1 ft | MIN SIDE YARD | 10 ft | EAST | 16 ft | 13.6 ft | WEST | 6.5 ft | 10.3 ft | F.A.R. | 1.0 | 0.56 | | 0.83 | MIN FRONTAGE | 50 ft | 50 ft | | 50 ft | FULL SIZE PARKING | 6 | 2 | | 2 | BUILDING HEIGHT | 40' | 37.4' (FROM AVERAGE GRADE) | | 37.76' (FROM AVERAGE GRADE) |
| | | | | | ZONING DIMENTIONAL TABLE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | ALLOWED/REQUIRED | EXISTING | | PROPOSED | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ZONE | MR4 | COMMERCIAL BLD. | | COMMERCIAL BLD. | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MIN LOT SIZE | 10,000 SF | 5,000 SF | | 5,000 SF | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MAX GROUND COVERAGE | 90% | 27% | | 34.2% | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MIN LANDSCAPE PERCENTAGE OF LOT | 25% | 46 % | | 32% | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MIN PERVIOUS AREA, PERCENTAGE OF LOT | 35% | 46 % | | 63.2% | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MIN FRONT YARD | 15 ft | 16.6 ft | | 16.6 ft | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MIN BACK YARD | 20 ft | 33.3 ft | | 25.1 ft | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MIN SIDE YARD | 10 ft | EAST | 16 ft | 13.6 ft | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | WEST | 6.5 ft | 10.3 ft | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| F.A.R. | 1.0 | 0.56 | | 0.83 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MIN FRONTAGE | 50 ft | 50 ft | | 50 ft | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| FULL SIZE PARKING | 6 | 2 | | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BUILDING HEIGHT | 40' | 37.4' (FROM AVERAGE GRADE) | | 37.76' (FROM AVERAGE GRADE) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| DESIGNER Nathalia Quirino (857) 888-1216 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ZONING ASSITANT: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Tavis Babbitt (781) 592-9201 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| CONTRACTOR: | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

RISE
ARCHITECTURE

71B CLINTON ST Malden, MA 02148 Tel: 617 318-6056

| | | |
|-------------------------------------|--------------------|------------|
| PROJECT NAME | | |
| 483 BROADWAY - SOMERVILLE, MA 02145 | | |
| CLIENT | | |
| JOHN WOOD | | |
| PROJECT TEAM | | |
| Designer | Engineer | |
| Nathália Quirino | Nazieh R. Hammouri | |
| 857 888-1216 | (857) 312-9212 | |
| No. | Description | Date |
| 00 | Issued for permit | 12/10/2020 |
| 01 | Issued for permit | 04/19/2021 |
| 02 | Issued for permit | 10/05/2021 |
| 03 | Issued for permit | 07/15/2022 |

CITY STAMP

DRAWING TITLE

COVER SHEET

DRAWING INFORMATION

May 24, 2024

DATE OF ISSUE

Issued for permit.

DESCRIPTION

S/ SCALE Nathalia Quirino

SCALE DRAWN BY

479J 479J

PROJECT # FILE NAME

DRAWING NUMBER

A100

| ZONING DATA PER 4.2.8.a & b LOT STANDARDS & BUILDING PLACEMENT | | | | | |
|--|---|----------------------|----------|--------------|------------|
| | ZONING DISTRICT - MR4 Mid-Rise 4 | ALLOWED/ REQUIRED | EXISTING | PROPOSED | COMPLIANCE |
| LOT DIMENSIONS | | | | | |
| A | Lot Width (min) | 30' | 50' | NO CHANGE | |
| LOT DEVELOPMENT | | | | | |
| | Lot Coverage (max) | 90% | - | 70% | |
| | Green Score (see Landscape Details) | | | 0.32 | |
| | Minimum | 0.25 | | | |
| | Ideal | 0.30 | | | |
| B | Open Space (min) | 15% | | 30% | |
| BUILDING SETBACKS | | | | | |
| A | Primary Front Setback (min/max) BROADWAY (Pedestrian Street) | 2' / 15' | NA | 4'-1" | |
| B | Secondary Front Setback (min/max) STRATHMORE RD. | 2' / 15' | NA | 0'-0" | |
| C | Side Setback (min) | | | | |
| | Abutting any non-NR or -LHD | 0' | - | | |
| | 1st - 3rd Story Abutting-NR or -LHD | 10' | -- | | |
| | 4th Story Abutting-NR or -LHD | 30' | -- | | |
| D | Rear Setback (min) | | | | |
| | 1st - 3rd Story abutting NR | 20' | NA | NA | |
| PARKING SETBACKS | | | | | |
| E | Primary Front Setback (min) | | | | |
| | Surface Parking | 30' | NA | -- | |
| | Structured Parking (GARAGE) | 30' | -- | -- | |
| F | Secondary Front Setback (min) | | | | |
| | Surface Parking | 10' | -- | -- | |
| | Structured Parking (GARAGE) | 2' | -- | -- | |

| ZONING DATA PER 4.2.8.c&d MASSING & HEIGHT AND USES FEATURES | | | | | |
|--|---------------------------------------|----------------------|----------------|--|------------|
| | ZONING DISTRICT - MR4 Mid-Rise 4 | ALLOWED/ REQUIRED | EXISTING | PROPOSED | COMPLIANCE |
| MAIN MASSING | | | | | |
| A | Building Width (max) | 200' | | 48'-10"" x 11'-0"" <small>(Somerville side)</small> | |
| | Facade Build Out, Primary Front (min) | | | | |
| | Primary Front | 80%(min) | | 86% | |
| | Secondary Front | 65%(min) | | 65% | |
| B | Floor Plate (max) | 15,000 sf | -- | 505 sf | |
| C | Ground Story Height (min) | 14' | NA | 11'-2" | |
| D | Upper Story (min) | 10' | | 10' | |
| E | Number of Stories (min/max) | 3 / 4 | NA | 2 | |
| F | Building Height, Feet (max) | 50' | -- | 24'7" | |
| | Roof Type | Flat | -- | Flat | |
| Facade Composition | | | | | |
| A | Ground Story Fenestration (min) | 70% | 73% (BROADWAY) | | CONFORMS |
| B | Upper Story Fenestration (min / max) | 15% / 50% | 22% (BROADWAY) | | CONFORMS |
| | Blank Wall (max) | 20' | | 10'-3" | |
| Use & Occupancy | | | | | |
| | Ground Story Entrance Spacing (max) | 30' | | 6'-4" | |
| | Commercial Space Depth (min) | 30' | | 11'-0" | |
| | Gross Floor Area per DU | | | | |
| | Lot Area < 5,500 sf | 1,500 | | | |
| | Outdoor Amenity Space (min) | 1/DU | | | |

| ZONING DATA PER 4.2.10.f BUILDING COMPONENTS. | | | | | |
|---|--|---|----------|----------|------------|
| | ZONING DISTRICT - Mid-Rise 4 (MR4) General Building | ALLOWED/ REQUIRED | EXISTING | PROPOSED | COMPLIANCE |
| ENTRY AWANING | | | | | |
| A | Width (min) | Equal or Greater in Width of Entry | | Equal | |
| B | Projection (min) | 3' | | 3'-5" | |
| C | Clearance (min) | 8' | | 8'-0" | |
| D | Front Setback Encroachment (max) | 100% | | 0% | |
| | Setback from Curb (min) | 2' | | 9'-2" | |

| ZONING DATA PER 4.2.10.h BUILDING COMPONENTS. | | | | | |
|---|--|----------------------|----------|----------|--|
| | ZONING DISTRICT - Mid-Rise 4 (MR4) General Building | ALLOWED/ REQUIRED | EXISTING | PROPOSED | |
| STORE FRONT | | | | | |
| A | Width (min/max) | 15'/30' | | 18'-4" | |
| B | Height (min) | 80% of 11'-2' | | 9'-11" | |
| | Display Window Height (min) | 8' | | 8'10" | |
| | Recessed Entrance Width (max) | 15' | | NA | |
| | Recessed Entrance Depth (max) | 5' | | NA | |



71B CLINTON ST Malden, MA 02148 Tel: 617 318-6056

PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145

CLIENT
JOHN WOOD

PROJECT TEAM
Architect Engineer
Nathália Quirino Nazieh R. Hammouri
857 888-1216 (857) 312-9212

| No. | Description | Date |
|-----|-------------------|------------|
| 00 | Issued for permit | 12/10/2020 |
| 01 | Issued for permit | 04/19/2021 |
| 02 | Issued for permit | 10/05/2021 |
| 03 | Issued for permit | 07/15/2022 |

CITY STAMP



DRAWING TITLE

ZONING
INFORMATION.

DRAWING INFORMATION



May 24, 2024.

DATE OF ISSUE

Issued for permit.

DESCRIPTION

NOT TO SCALE. Nathalia Quirino

SCALE DRAWN BY

479J 479J

PROJECT # FILE NAME

DRAWING NUMBER

A101

PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145

CLIENT
JOHN WOOD

PROJECT TEAM
Architect Nathália Quirino 857 888-1216
Engineer Nazieh R. Hammouri (857) 312-9212

| No. | Description | Date |
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CITY STAMP

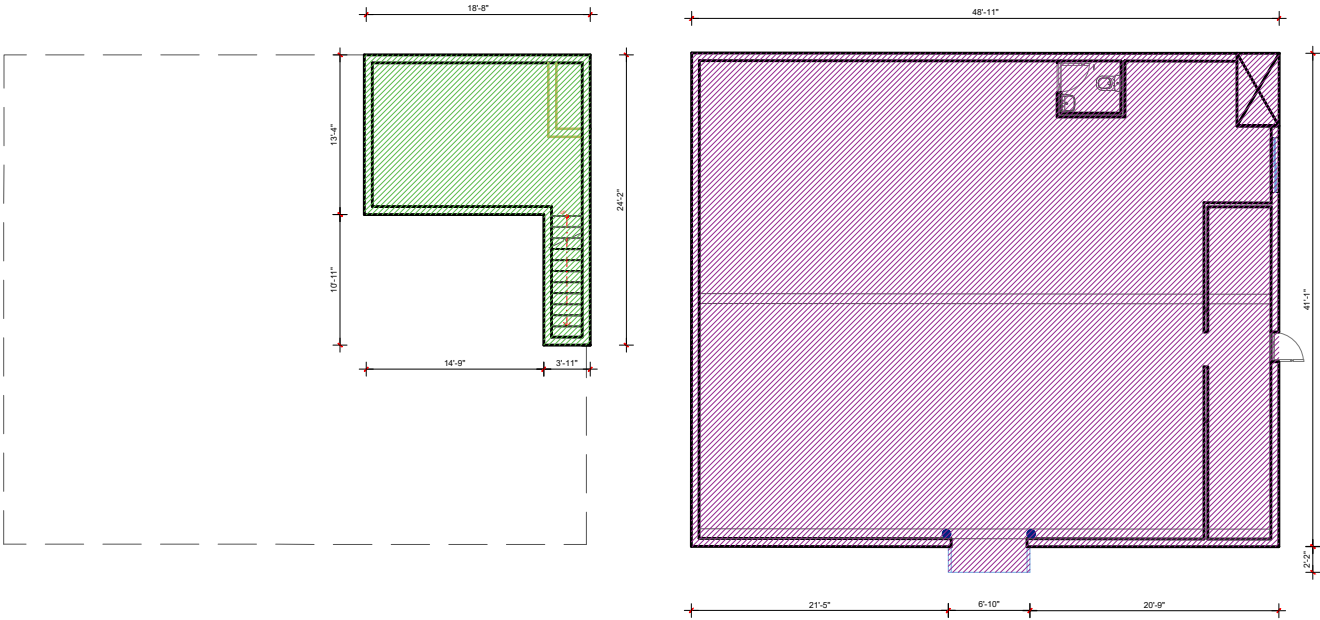
DRAWING TITLE
GROSS AREA.



May 24, 2024
DATE OF ISSUE
Issued for permit
DESCRIPTION
1/16" = 1'-0" Nathalia Quirino
SCALE DRAWN BY
479J 479J
PROJECT # FILE NAME

DRAWING NUMBER
A102

EXISTING



1 BASEMENT
1/16"-1'0"

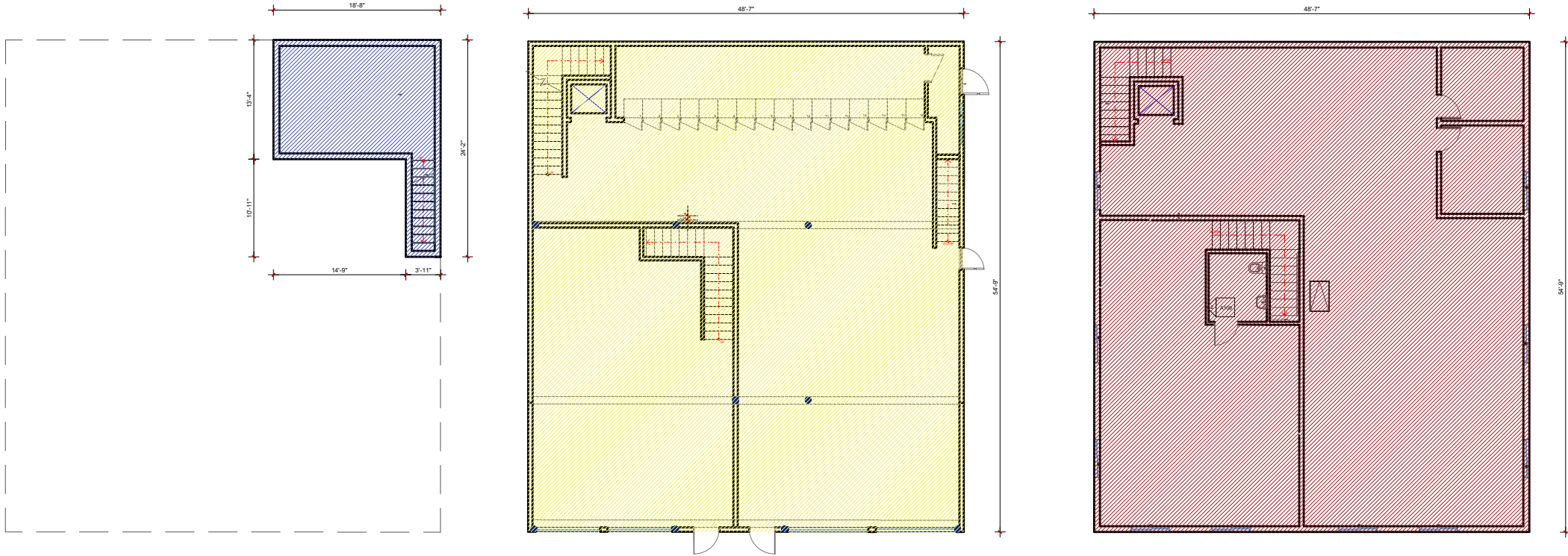
2 1ST FLOOR
1/16"-1'0"

LEGEND - EXISTING AREA

BASEMENT AREA = 292.62 SQ FT
1ST FLOOR AREA = 2 027 SQ FT

TOTAL GROSS AREA = 2 319.62 SQ FT

PROPOSED



3 BASEMENT
1/16"-1'0"

4 1ST FLOOR
1/16"-1'0"

5 2ND FLOOR
1/16"-1'0"

LEGEND - PROPOSED AREA

BASEMENT AREA = 292.62 SQ FT
1ST FLOOR AREA = 2 660 SQ FT
2ND FLOOR AREA = 2 660 SQ FT

TOTAL GROSS AREA = 5 612.62 SQ FT

1. Zoning Districts
SOMERVILLE: NB
MEDFORD: APT 2
2. The purpose of this plan is to show the results of a field retracement survey.
3. REFERENCES USED:
 - Assessor's Parcel ID # 40-A-3 (Somerville)
 - Assessor's Parcel ID # Z-10 / 21 (Medford)
 - Deed Book: 57106 - Pages: 422
 - Plan Book: 244 - Plan: 23 (Lots # 1)
 - Plan Book: 136 - Plan: 13
 - Plan No. 139 of 1931
 - Plan No. 243 of 1940
 - Plan No. 1334 of 1946
 - Plan @ the end of Deed Book: 5131(Recorded at the Middlesex County S. District Registry of Deeds)
4. THIS PLAN IS BASED ON AN " ON GROUND" SURVEY.

EXISTING

LOT AREA { IN THE CITY OF MEDFORD } = 2,277.0 S.F.
LOT AREA { IN THE CITY OF SOMERVILLE } = 723.0 S.F.
TOTAL LOT AREA = 3,000.0 S.F.

EXISTING BUILDING FOOTPRINTS: 1,953.2 S.F.
EXISTING BUILDING COVERAGE: 65.10 %
EXISTING OPEN SPACE : 34.89 %

PROPOSED

PROPOSED ADDITION FOOTPRINTS IN SOMERVILLE: 505.11 S.F.
PROPOSED ADDITION FOOTPRINTS IN MEDFORD: 202.89 S.F.
TOTAL PROPOSED ADDITION FOOTPRINTS: 708.00 S.F.

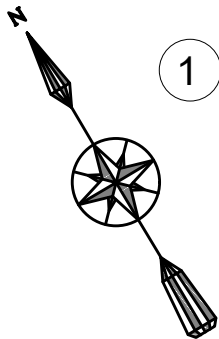
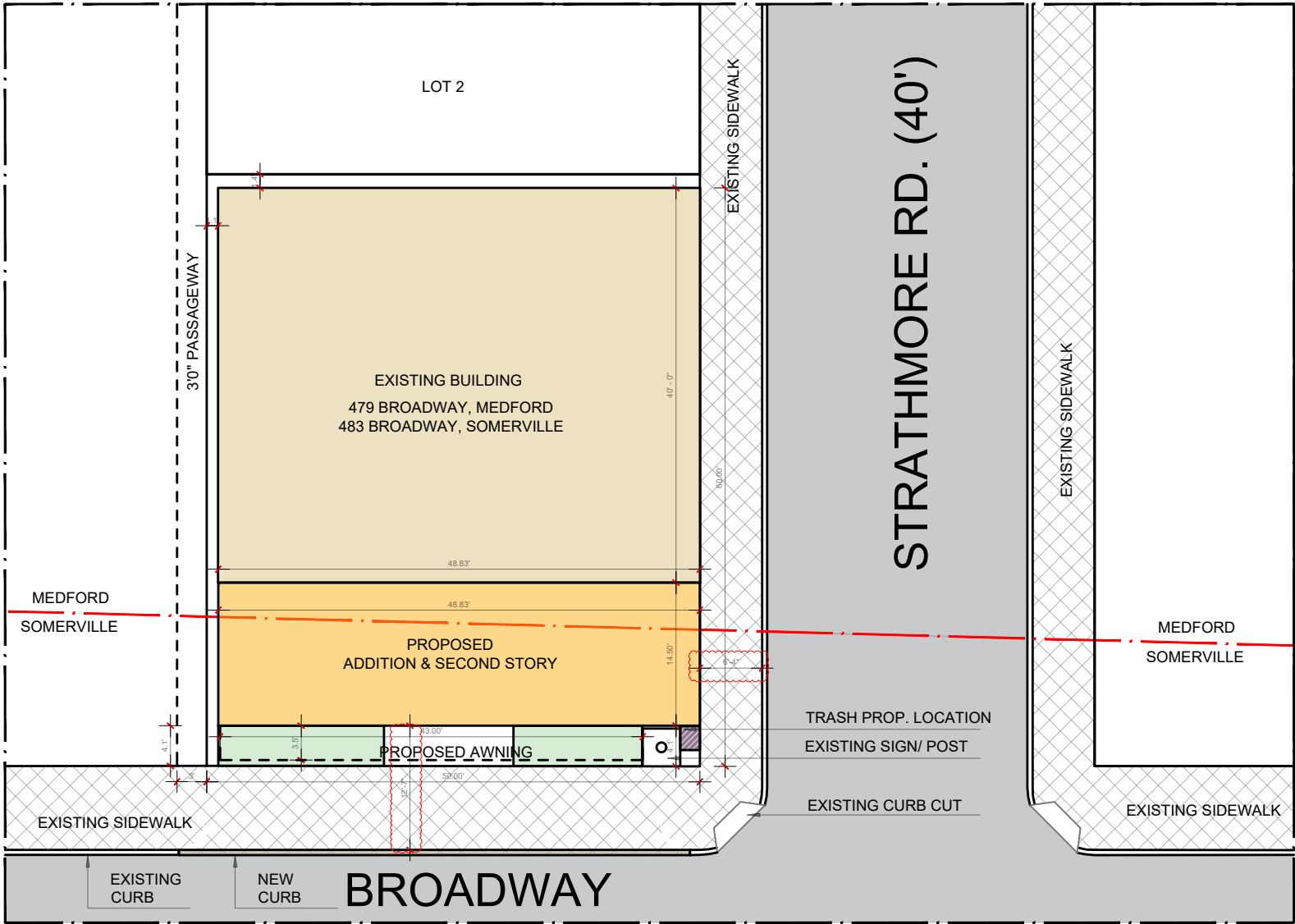
TOTAL PROPOSED BUILDING COVERAGE: 88.70 %
TOTAL PROPOSED OPEN SPACE: 11.29 %

SITE PLAN

(Showing an addition to an existing building)

479 BROADWAY, MEDFORD, MA.
483 BROADWAY, SOMERVILLE, MA

Prepared for: John Wood
Surveyed by: Michel G. El-Ashkar, PLS



1 SITE USE PLAN.
1/16"-1'0"

LEGEND

- BUILDING FOOTPRINT: EXISTING
- BUILDING FOOTPRINT: PROPOSED
- PROPOSED NEW AWNING
- AREA RESERVED FOR FLOWER BOXES

RISE
ARCHITECTURE

71B CLINTON ST Malden, MA 02148 Tel: 617 318-6056

PROJECT NAME

483 BROADWAY - SOMERVILLE, MA 02145

CLIENT

JOHN WOOD

PROJECT TEAM

Designer
Nathalia Quirino
857 888-1216

Engineer
Nazieh R. Hammouri
(857) 312-9212

| No. | Description | Date |
|-----|-------------------|------------|
| 00 | Issued for permit | 12/10/2020 |
| 01 | Issued for permit | 04/19/2021 |
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| 03 | Issued for permit | 07/15/2022 |

CITY STAMP

DRAWING TITLE

SITE USE PLAN

DRAWING INFORMATION

May 24, 2024
DATE OF ISSUE
Issued for permit
DESCRIPTION
1/16" - 1' 0"
SCALE
479J
PROJECT #
DRAWING NUMBER
A103

Nathalia Quirino
DRAWN BY
479J
FILE NAME



PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145

CLIENT
JOHN WOOD

PROJECT TEAM
Architect: Nathália Quirino (857) 888-1216
Engineer: Nazieh R. Hammouri (857) 312-9212

| No. | Description | Date |
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CITY STAMP

DRAWING TITLE

GROUND
COVERAGE

DRAWING INFORMATION



April 07, 2025

DATE OF ISSUE

Issued for permit

DESCRIPTION

1/8" - 1' 0" Nathalia Quirino

SCALE DRAWN BY

479J 479J

PROJECT # FILE NAME

DRAWING NUMBER

A104

STRATHMORE RD.

EXISTING

60.00'

MEDFORD
SOMERVILLE



EXISTING SIGN + CORNER
AREA = 22 S.F.

50.00'

LOT 2

LOT 2

EXISTING BUILDING
479 BROADWAY, MEDFORD

40.00'

48.83'

PROPOSED ADDITION
483 BROADWAY, SOMERVILLE

48.83'

11.2'

3.3'

4.8'

9.9'

5'-3"

16'-1"

BUILDING ADDITION AREA=
509 S.F.

PERVIOUS PAVING
TOTAL AREA = 58 S.F.
58 S.F. X 0.33 = 19 S.F.

EXISTING SIDEWALK

BROADWAY

3'0" PASSAGEWAY

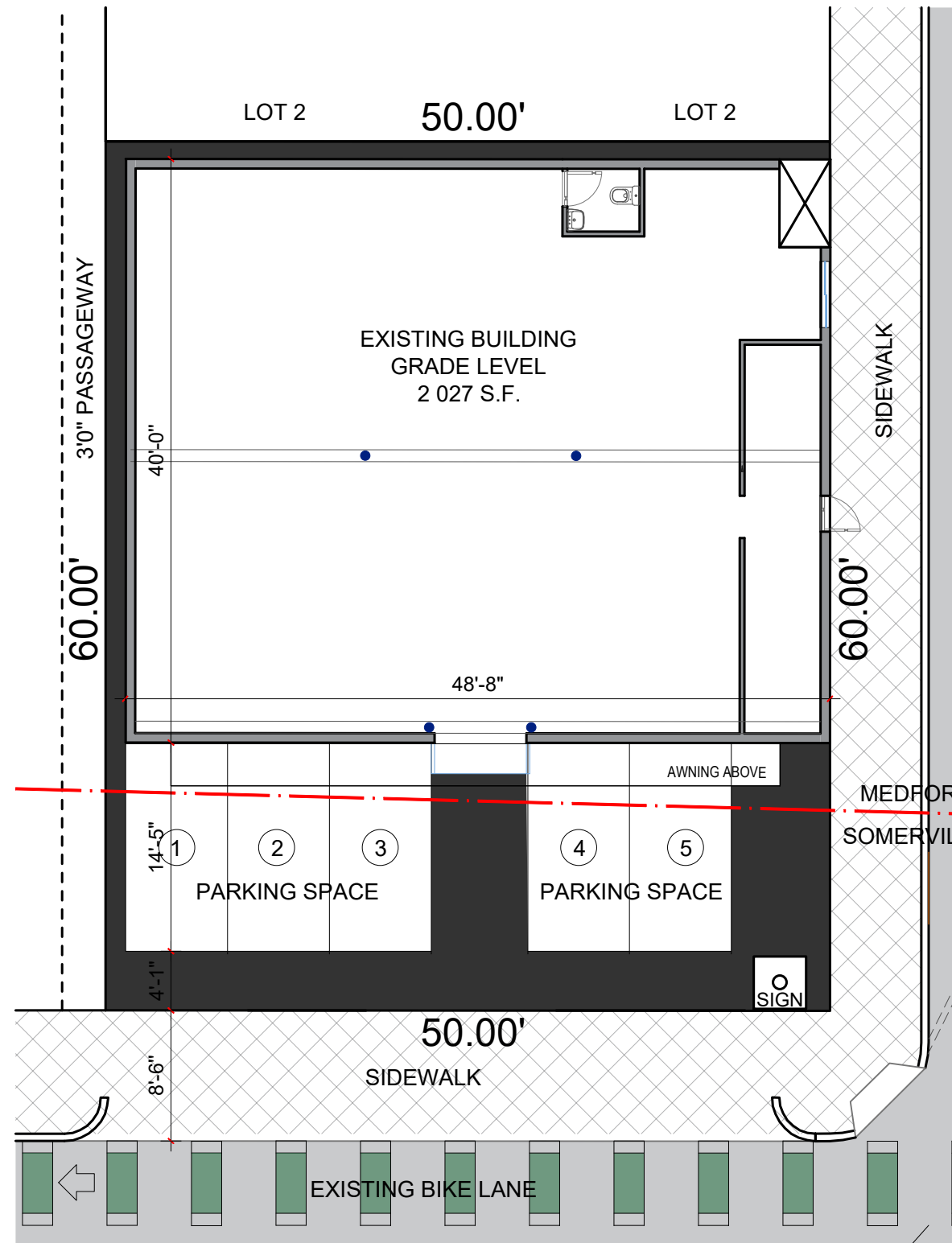
LOT COVERAGE TABLE

| | |
|-----------------------------|-------------------------|
| LOT AREA (SOMERVILLE) | 723 S.F. |
| BUILDING ADDITION AREA | 509 S.F. |
| PERVIOUS PAVING | 58 S.F. X 0.33 = 19 S.F |
| EXISTING SIGN + CORNER AREA | 22 S.F |
| TOTAL AREA | 550 S.F |
| COVERAGE % | 76 % |

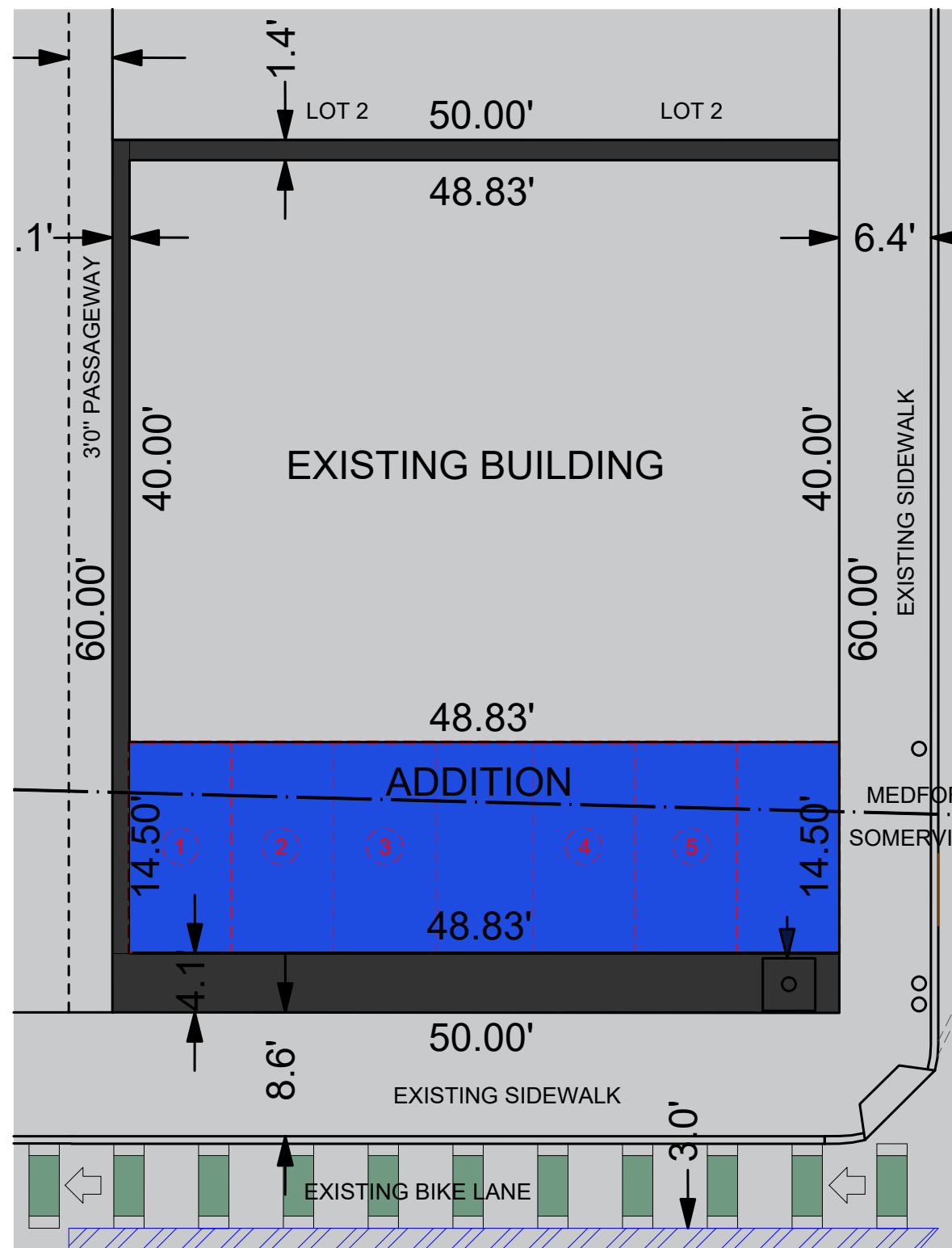
LEGEND

- BUILDING FOOTPRINT - MEDFORD
- BUILDING FOOTPRINT - SOMERVILLE
- LOT AREA - EXISTING CONCRETE AREA
- PERVIOUS PAVER
- GRASS AREA

1 GROUND COVERAGE.
1/16"-1'0"



1 EXISTING CONDITIONS FLOOR PLAN
3/32"-1'0"



2 DEMOLITION FLOOR PLAN
3/32"-1'0"

- LEGEND
- EXISTING
 - SITE PLAN
 - DEMOLITION
 - ADDITION

PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145

CLIENT
JOHN WOOD

PROJECT TEAM

Designer
Nathalia Quirino
857 888-1216

Engineer
Nazieh R. Hammouri
(857) 312-9212

| No. | Description | Date |
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| 03 | Issued for permit | 07/15/2022 |

CITY STAMP

DRAWING TITLE
EXISTING & DEMOLITION
FLOOR PLANS

DRAWING INFORMATION

APRIL 07, 2025

DATE OF ISSUE

Issued for permit

DESCRIPTION

1/8" - 1' 0" Nathalia Quirino

SCALE

479J DRAWN BY

479J

PROJECT #

FILE NAME



DRAWING NUMBER
A105

PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145

CLIENT
JOHN WOOD

PROJECT TEAM
Designer
Nathalia Quirino
857 888-1216
Engineer
Nazieh R. Hammouri
(857) 312-9212

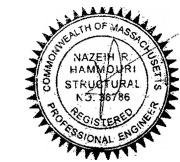
| No. | Description | Date |
|-----|-------------------|------------|
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| 03 | Issued for permit | 07/15/2022 |

CITY STAMP

DRAWING TITLE

EXISTING FLOOR
PLAN

DRAWING INFORMATION



May 24, 2024

DATE OF ISSUE

Issued for permit

DESCRIPTION

1/8" = 1'-0" Nathalia Quirino

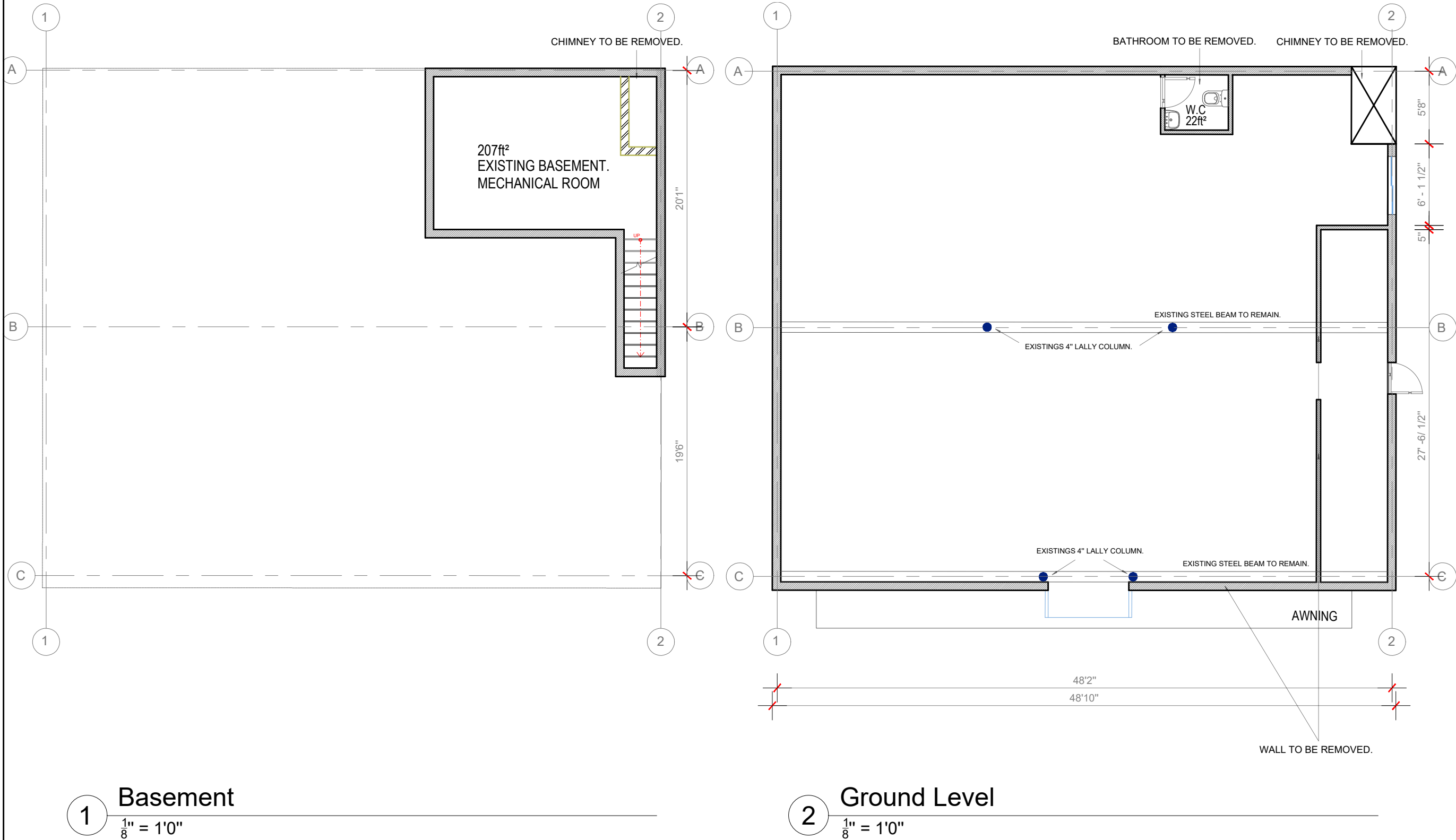
SCALE DRAWN BY

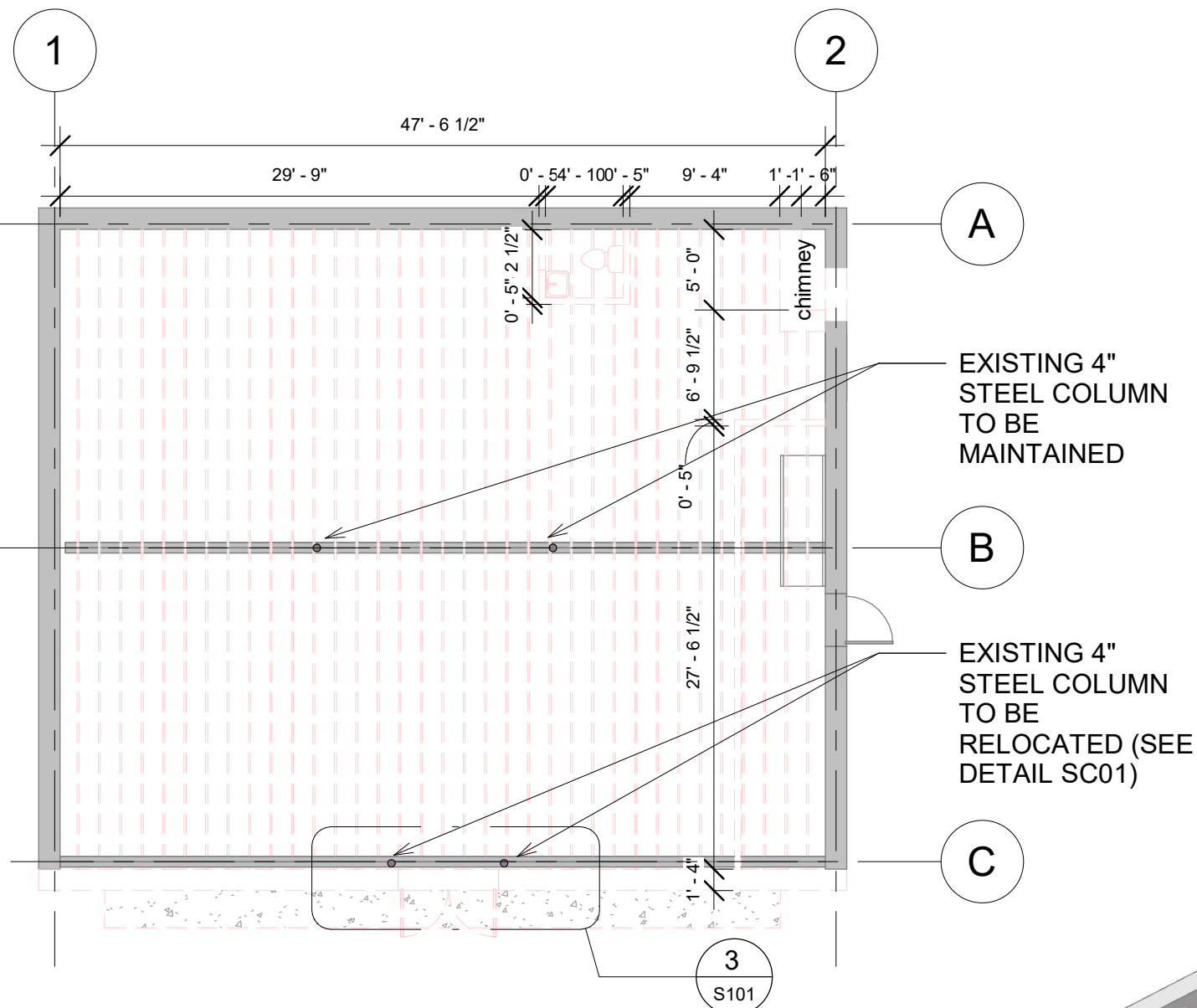
479J 479J

PROJECT # FILE NAME

DRAWING NUMBER


A109






1 Demolition Plan - Level 1
1" = 10'-0"

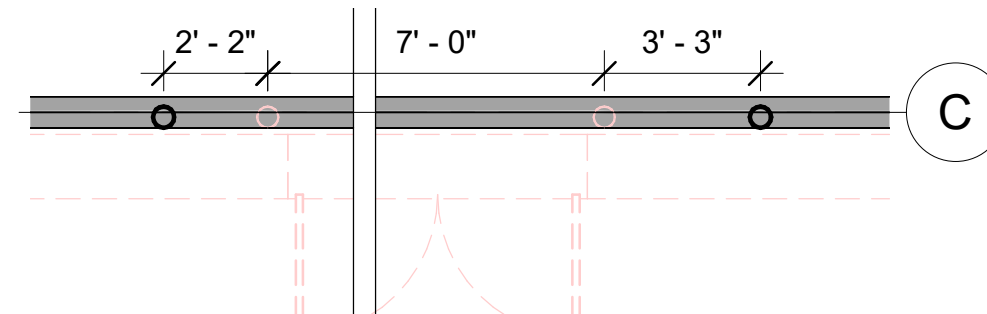
Legend

 Demolition

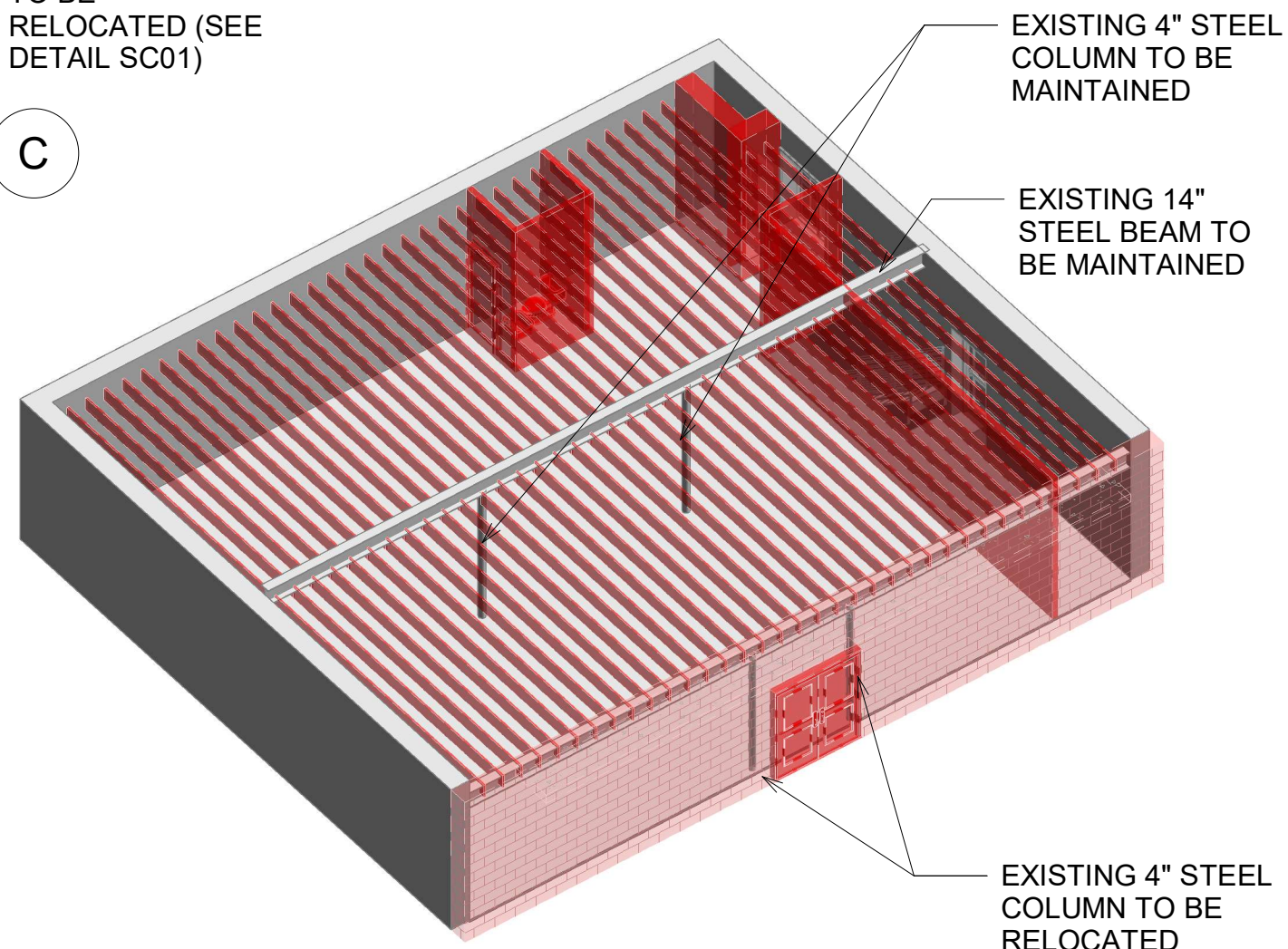
 Existing

NOTES

- 1- EXISTING BEAM AND COLUMNS TO BE MAINTAINED
- 2- EXISTING STAIR TO THE BASEMENT TO BE MAINTAINED
- 3- FRONT WALL TO BE DEMOLISHED
- 4- ROOF FRMAING TO BE DEMOLISHED
- 5- EXISTING WASHROOM TO BE DEMOLISHED
- 6- CHIMINEY TO BE DEMOLISHED



3 SC01
1/4" = 1'-0"

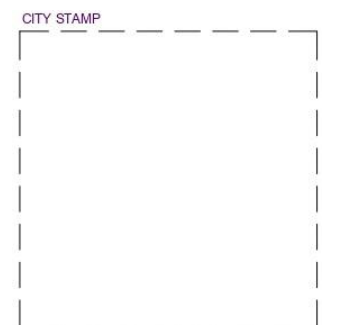


71B CLINTON ST - Malden, MA 02148 Tel: 617 318-6056

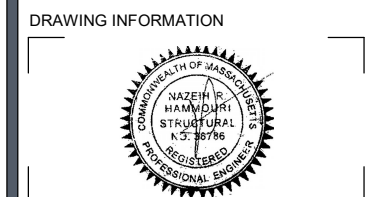
PROJECT NAME
483 BROADWAY, SOMMERVILLE 02145
CLIENT
JOHN WOOD

PROJECT TEAM
Designer
Nathalia Quirino
857 888-1216
Engineer
Nazieh R. Hammouri
857 312-9212

| No. | Description | Date |
|-----|-------------------|------------|
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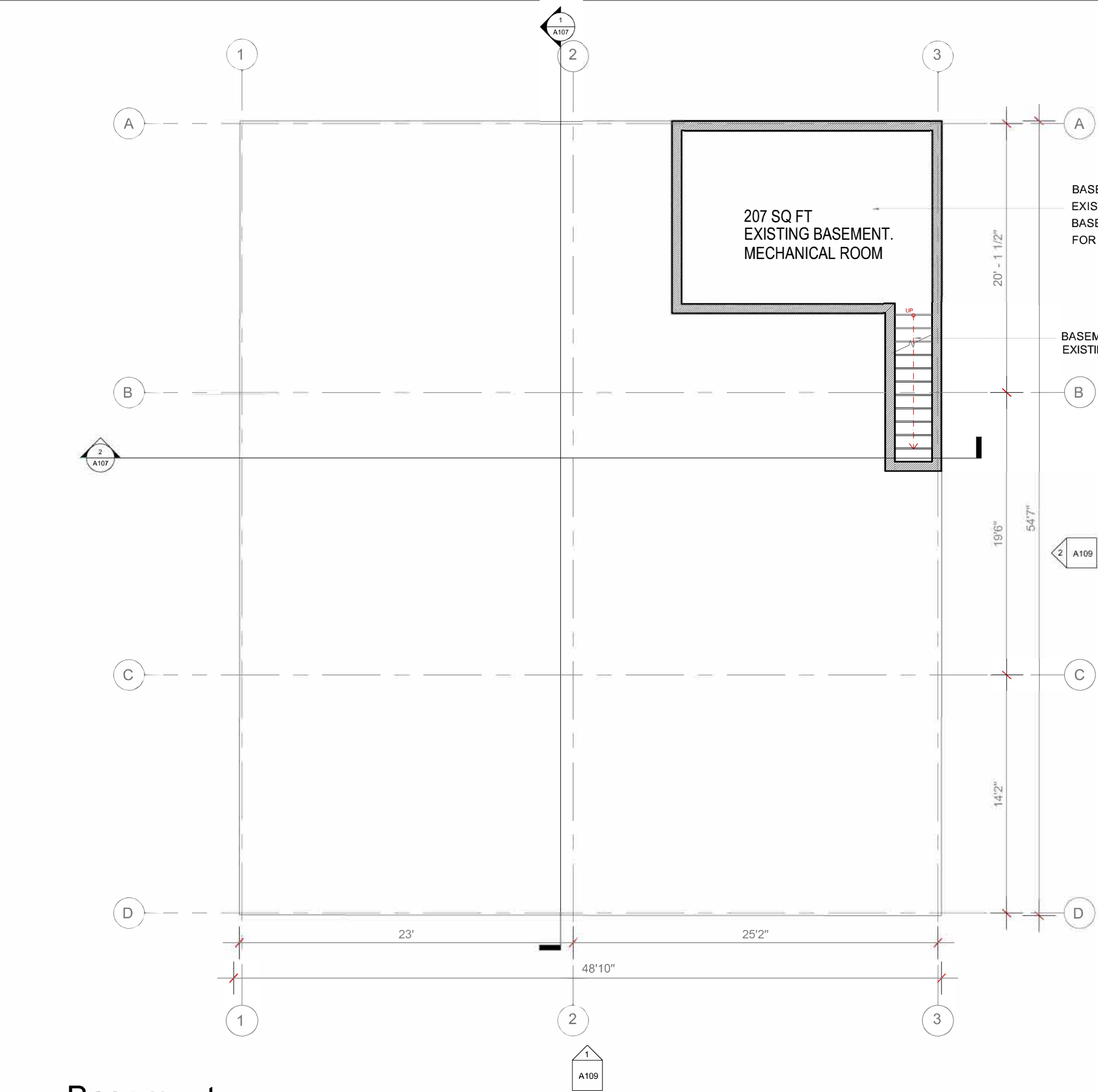


DRAWING TITLE
DEMOLITION PLAN



May 24, 2024
DATE OF ISSUE
Issued for Permit
DESCRIPTION
As indicated
SCALE
479J
PROJECT #
DRAWING NUMBER
A110

Author
DRAWN BY
479J
FILE NAME



1 Basement
 $\frac{1}{8}'' = 1'-0''$

RISE
ARCHITECTURE

71B CLINTON ST Malden, MA 02148 Tel: 617 318-6056

PROJECT NAME

483 BROADWAY - SOMERVILLE, MA 02145

CLIENT

JOHN WOOD

PROJECT TEAM

Designer
Nathália Quirino
857 888-1216

Engineer
Nazieh R. Hammouri
(857) 312-9212

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CITY STAMP

DRAWING TITLE

PROPOSED BASEMENT

DRAWING INFORMATION

COMMONWEALTH OF MASSACHUSETTS
NAZIEH R. HAMMOURI
STRUCTURAL
P.E. 38796
REGISTERED
PROFESSIONAL ENGINEER

May 24, 2024
DATE OF ISSUE
Issued for permit

DESCRIPTION
 $\frac{1}{8}'' = 1'-0''$
SCALE
479J
PROJECT #

Nathalia Quirino
DRAWN BY
479J
FILE NAME

DRAWING NUMBER
A111

PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145

CLIENT
JOHN WOOD

PROJECT TEAM
Designer
Nathalia Quirino
857 888-1216
Engineer
Nazieh R. Hammouri
(857) 312-9212

| No. | Description | Date |
|-----|-------------------|------------|
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| 03 | Issued for permit | 07/15/2022 |

CITY STAMP

DRAWING TITLE

PROPOSED
FIRST FLOOR

DRAWING INFORMATION



May 24, 2024

DATE OF ISSUE

Issued for permit

DESCRIPTION

1/8" = 1'-0" Nathalia Quirino

SCALE DRAWN BY

479J 479J

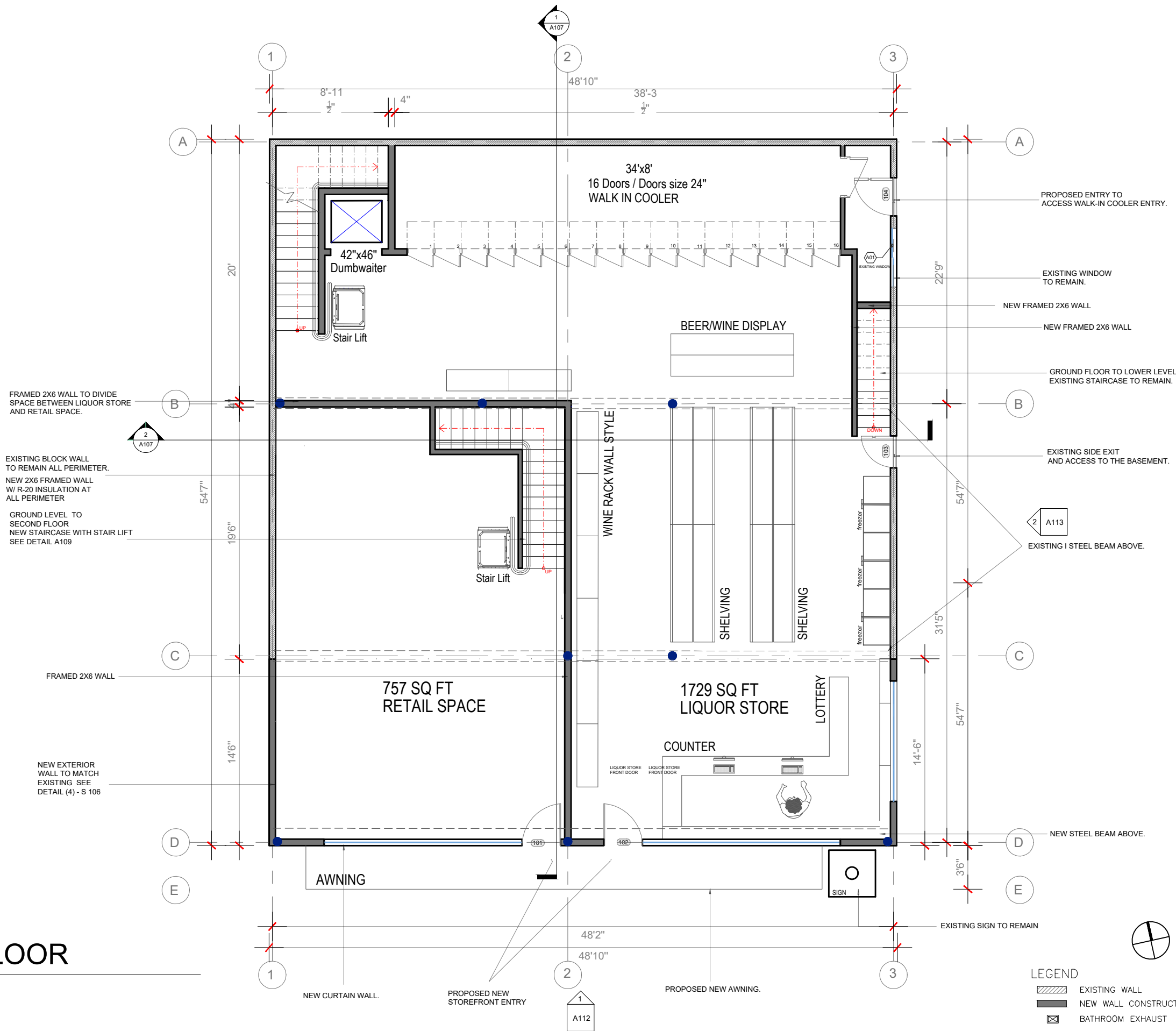
PROJECT # FILE NAME

DRAWING NUMBER

A112

1 FIRST FLOOR

1/8" = 1'-0"



PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145

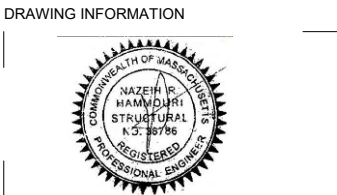
CLIENT
JOHN WOOD

PROJECT TEAM
Designer Nathalia Quirino
857 888-1216
Engineer Nazieh R. Hammouri
(857) 312-9212

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CITY STAMP

DRAWING TITLE
PROPOSED
SECOND FLOOR



May 24, 2024.

DATE OF ISSUE

Issued for permit

DESCRIPTION

1/8" = 1'-0" Nathalia Quirino

SCALE DRAWN BY

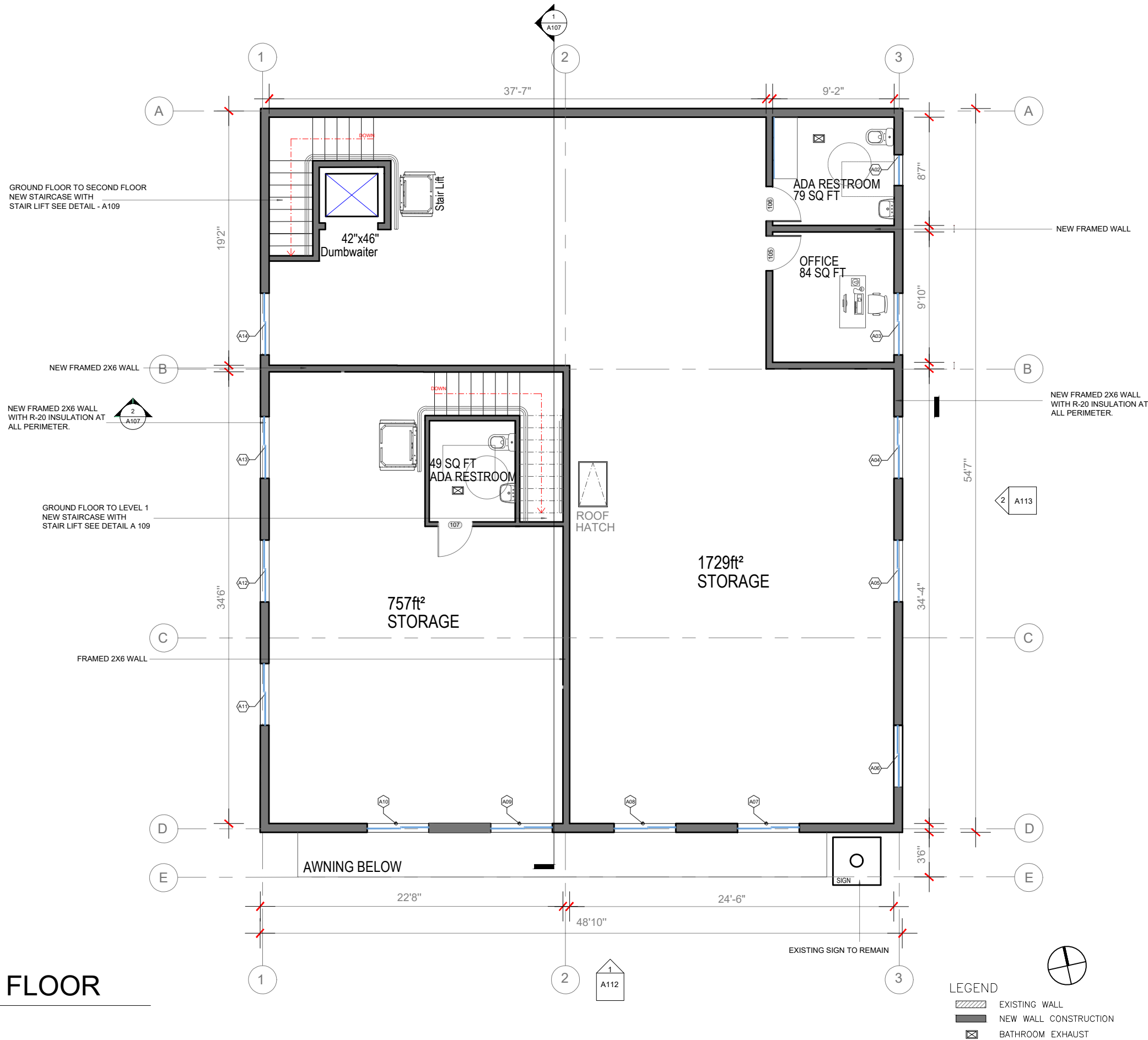
479J 479J

PROJECT # FILE NAME

DRAWING NUMBER

A113

1 SECOND FLOOR
1/8"-1'0"



PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145

CLIENT
JOHN WOOD

PROJECT TEAM

Designer Nathalia Quirino
857 888-1216 Engineer Nazieh R. Hammouri
(857) 312-9212

| No. | Description | Date |
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CITY STAMP

DRAWING TITLE

ROOF PLAN

DRAWING INFORMATION



May 24, 2024

DATE OF ISSUE

Issued for permit

DESCRIPTION

1/8" = 1'-0" Nathalia Quirino

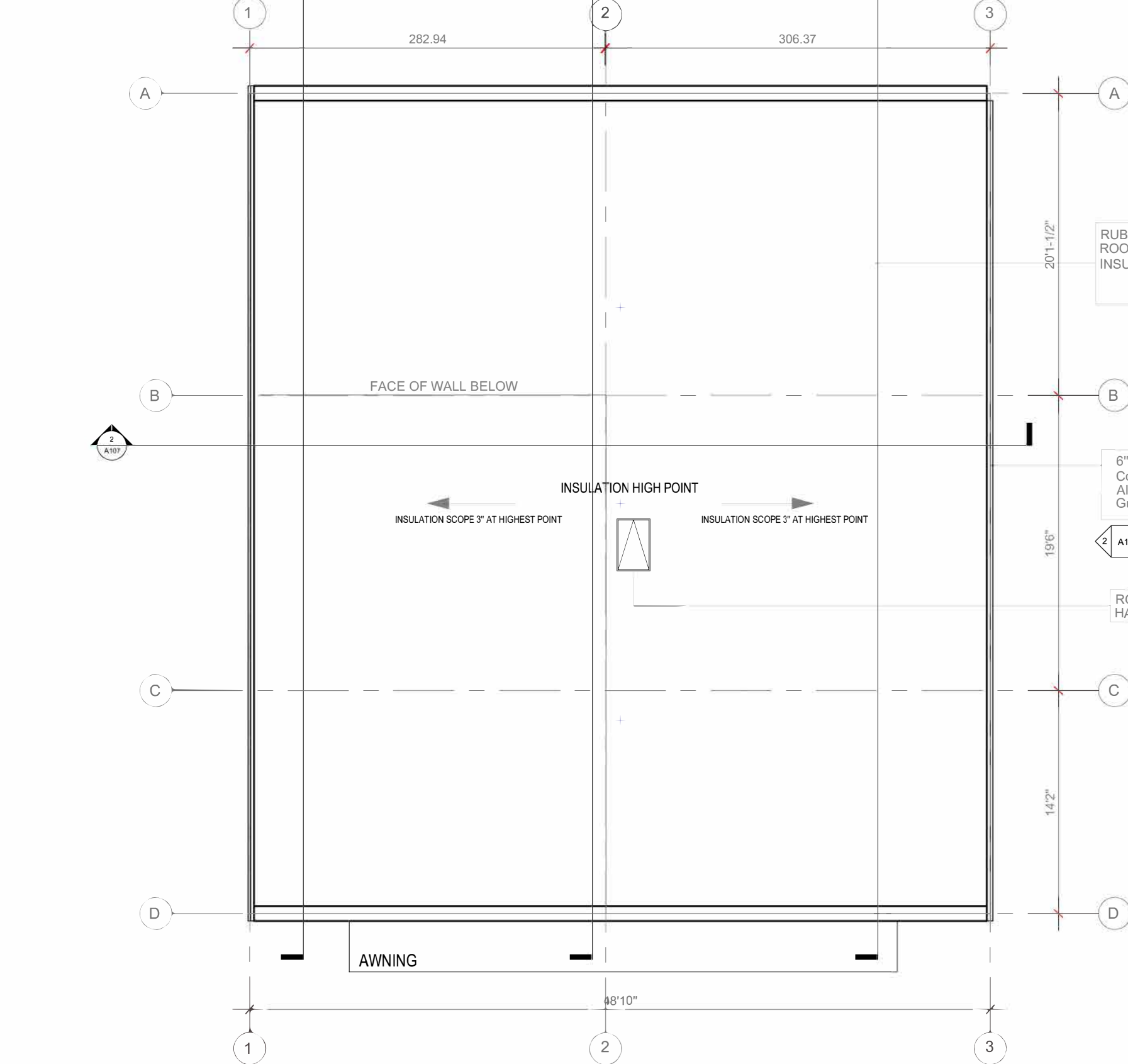
SCALE DRAWN BY

479J 479J

PROJECT # FILE NAME

DRAWING NUMBER

A114

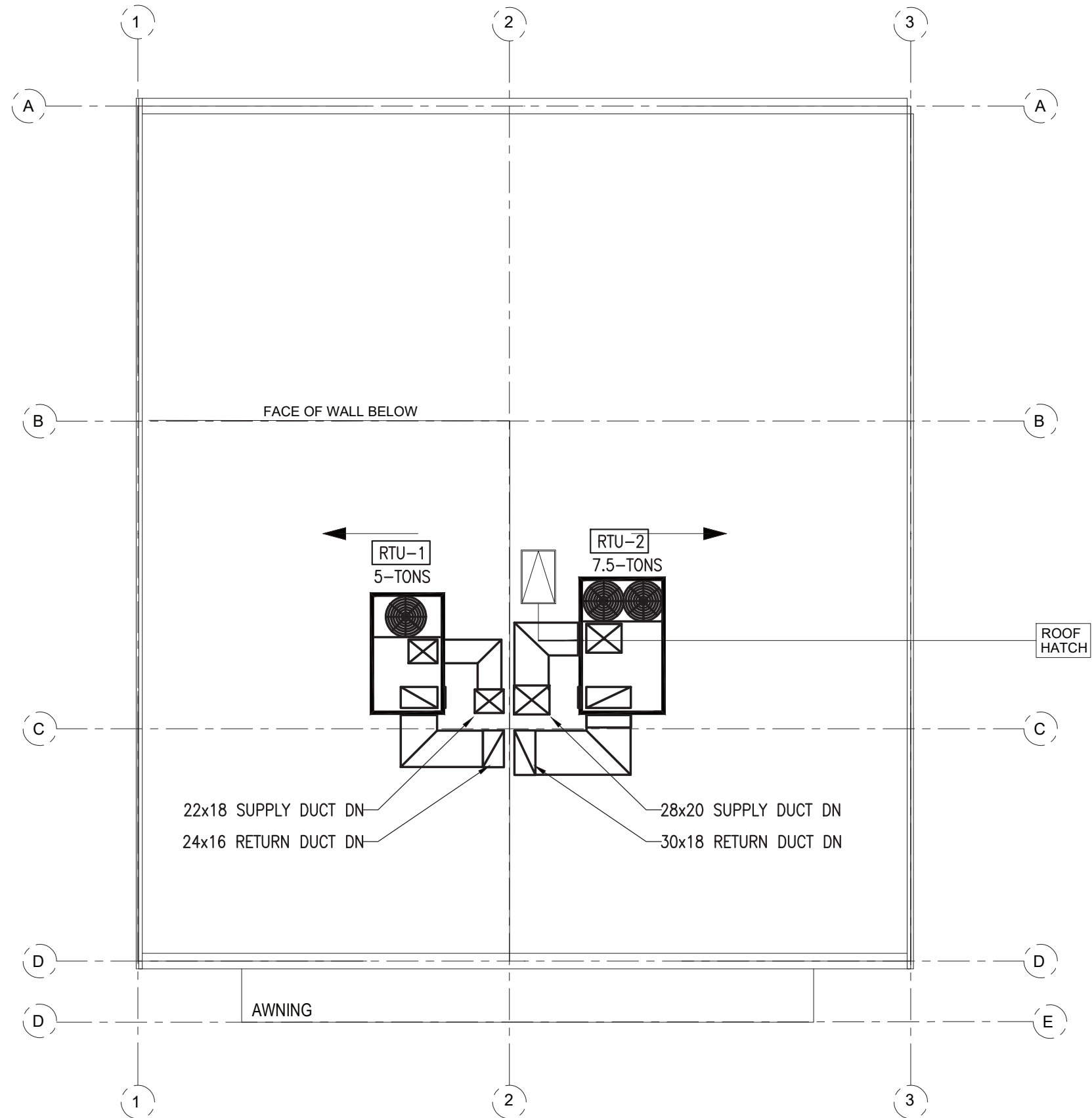


ROOF NOTES

- RUBBER MEMBRANE SYSTEM SEE TYPICAL ROOF ASSEMBLY DETAIL ON DRAWING (1) S106
- PROVIDE PERMANENT HOT DIPPED GALVANIZED ANCHO POINTS COMPLYING WITH ANSI ASSE Z 359.1. ANCHOR POINTS SHALL BE SPACED 10' ON CENTER MAXIMUM AND NOT LESS THAN 10' FROM ROOF EDGE MINIMUM.
- PROVIDE ROOF HATCH RAIL SYSTEM COMPLYING WITH OSHA 29 CFR 1910.23 FROM SAME MANUFACTURE AS ROOF HATCH. RAIL SYSTEM SHALL BE PERMANENTLY MOUNTED TO ROOF HATCH

1 ROOF PLAN
1/8" = 1'-0"





1
 $\frac{1}{8}" = 1'0"$

Roof Plan - Mechanical Units

RISE
ARCHITECTURE

71B CLINTON ST Malden, MA 02148 Tel: 617 318-6056

PROJECT NAME
483 BROADWAY, SOMERVILLE MA 02145

CLIENT
JOHN WOOD

PROJECT TEAM
Designer: Nathália Quirino 857 888-1216
Engineer: Nazieh R. Hammouri (857) 312-9212

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CITY STAMP

DRAWING TITLE

**ROOF
HVAC PLAN**

DRAWING INFORMATION

May 24, 2024

DATE OF ISSUE

Issued for permit

DESCRIPTION

As indicated

OJ

SCALE

DRAWN BY

479J

479J

PROJECT #

FILE NAME

DRAWING NUMBER

A115



ZADE ASSOCIATES LLC

CONSULTING ENGINEERS
140 BEACH STREET, BOSTON, MA 02111
TEL. (617) 338-4406
FAX. (617) 451-2540
E-MAIL Zade@ZadeEngineering.com



1 FRONT ELEVATION
3/16"-1'0"



2 3D VIEW - FRONT FACADE
NOT TO SCALE



3 3D VIEW - FRONT FACADE
NOT TO SCALE

PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145

CLIENT
JOHN WOOD

PROJECT TEAM
Designer
Nathalia Quirino
857 888-1216
Engineer
Nazieh R. Hammouri
(857) 312-9212

| No. | Description | Date |
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CITY STAMP

DRAWING TITLE
ELEVATION

DRAWING INFORMATION

April 07, 2025

DATE OF ISSUE
Issued for permit

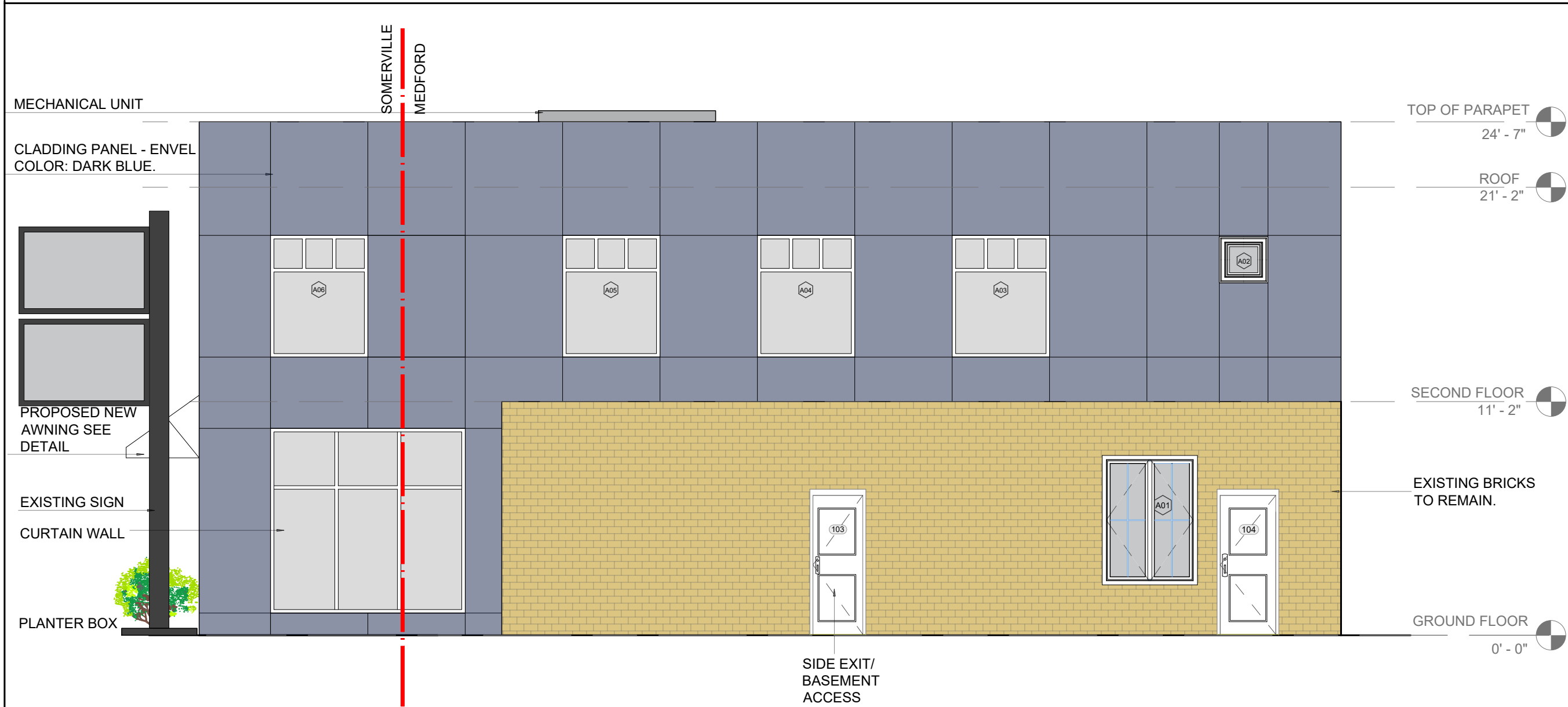
DESCRIPTION
3/16" = 1'-0"

SCALE
479J

PROJECT #

DRAWING NUMBER
A116

Nathalia Quirino
DRAWN BY
479J
FILE NAME



1 RIGHT SIDE ELEVATION
3/16"-1'0"

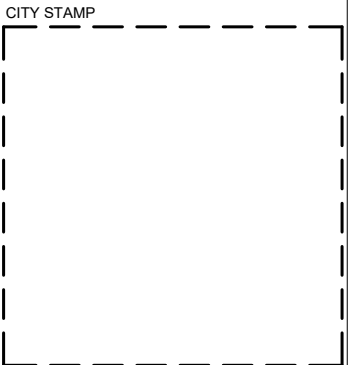


2 3D VIEW - RIGHT SIDE FACADE
NOT TO SCALE

PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145
CLIENT
JOHN WOOD

PROJECT TEAM
Architect
Nathália Quirino
857 888-1216
Engineer
Nazieh R. Hammouri
(857) 312-9212

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DRAWING TITLE
ELEVATION




April 07, 2025
DATE OF ISSUE
Issued for permit

DESCRIPTION
3/16" = 1'-0"
Nathália Quirino
SCALE
479J
DRAWN BY
479J
PROJECT #
FILE NAME

DRAWING NUMBER
A117



LEGEND:

 FENESTRATION.
AREA = 515 SQ FT



PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145
CLIENT
JOHN WOOD

PROJECT TEAM
Designer
Nathália Quirino
857 888-1216
Engineer
Nazieh R. Hammouri
(857) 312-9212

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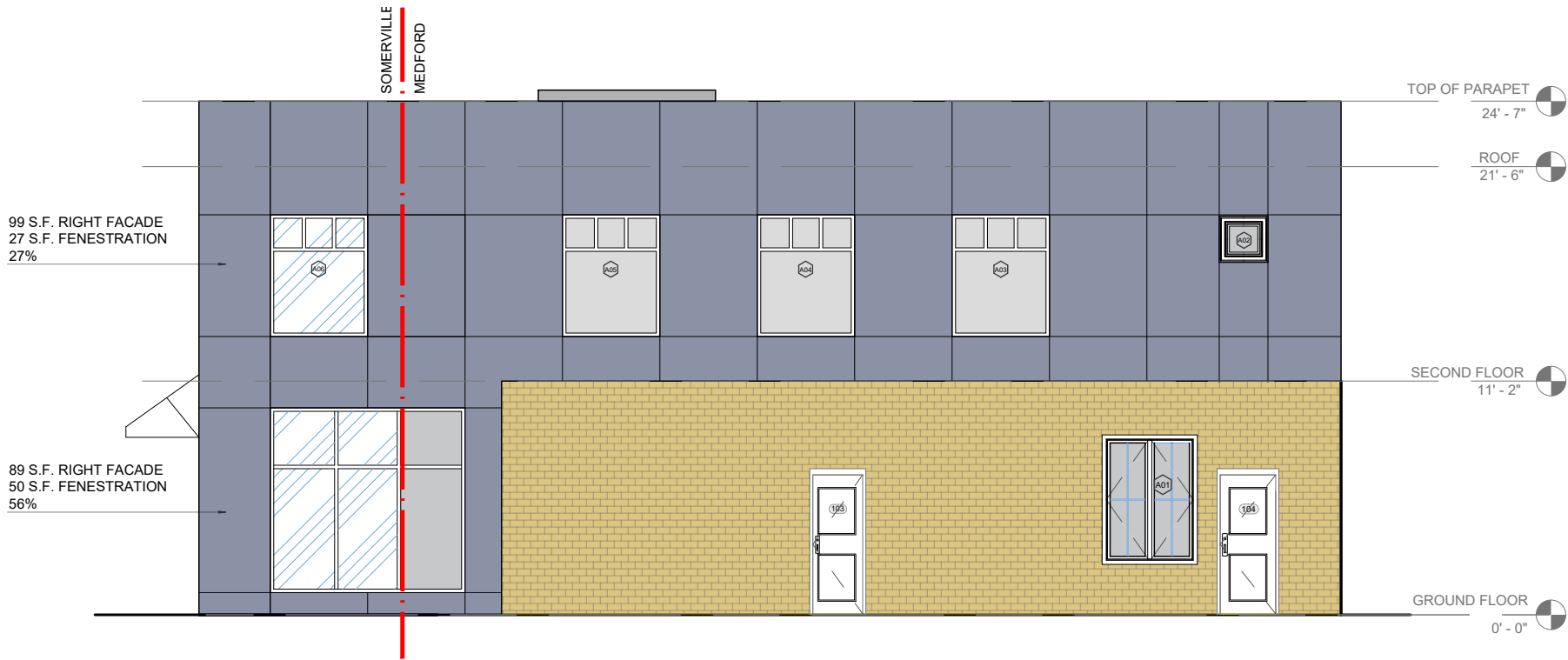


DRAWING TITLE
FENESTRATION
DIAGRAM.



April 07, 2025
DATE OF ISSUE
Issued for permit
DESCRIPTION
AS INDICATED
Nathalia Quirino
SCALE
479J
DRAWN BY
479J
PROJECT #
FILE NAME
DRAWING NUMBER
A118

1 PRIMARY FRONT ELEVATION.
1/8"-1'0"



2 SECONDARY FRONT ELEVATION.
1/8"-1'0"

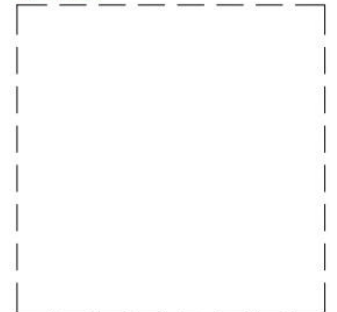
PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145

CLIENT
JOHN WOOD

PROJECT TEAM
Designer
Nathália Quirino
857 888-1216
Engineer
Nazieh R. Hammouri
(857) 312-9212

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CITY STAMP



DRAWING TITLE

SECTION 1 & 2

DRAWING INFORMATION



May 24, 2024

DATE OF ISSUE

Issued for permit

DESCRIPTION

1/10" = 1'-0" Nathalia Quirino

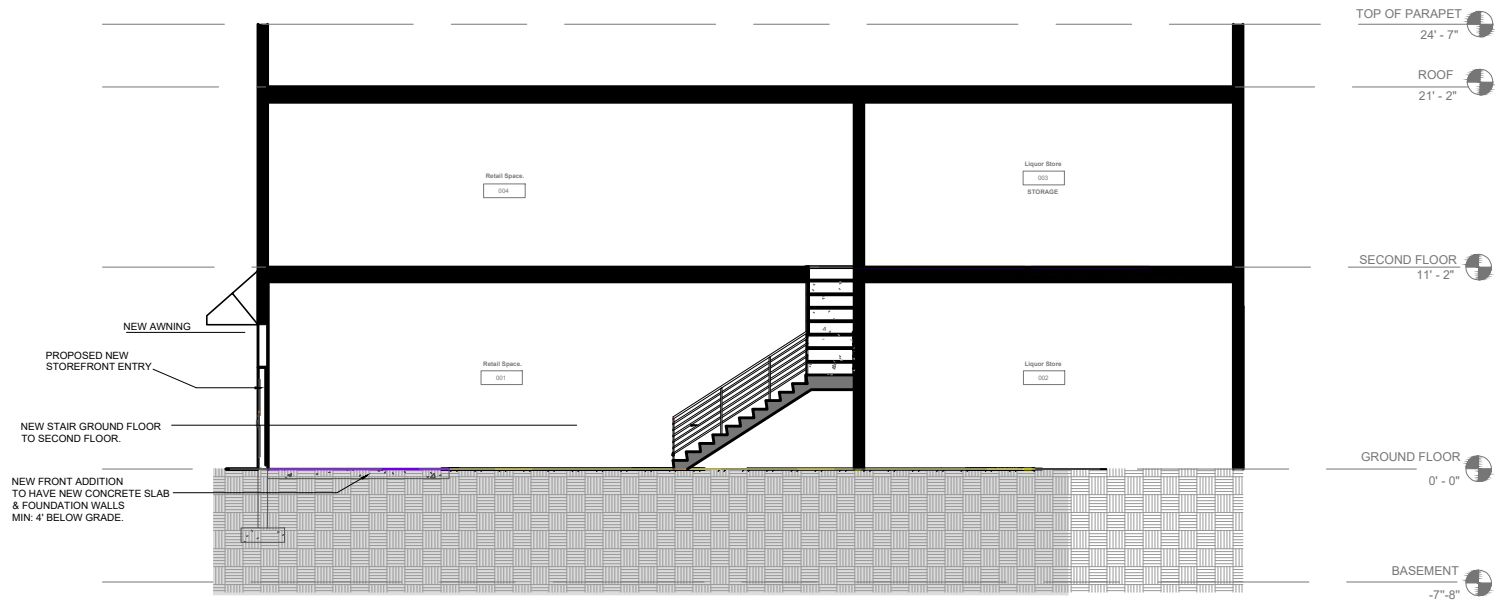
SCALE DRAWN BY

479J 479J

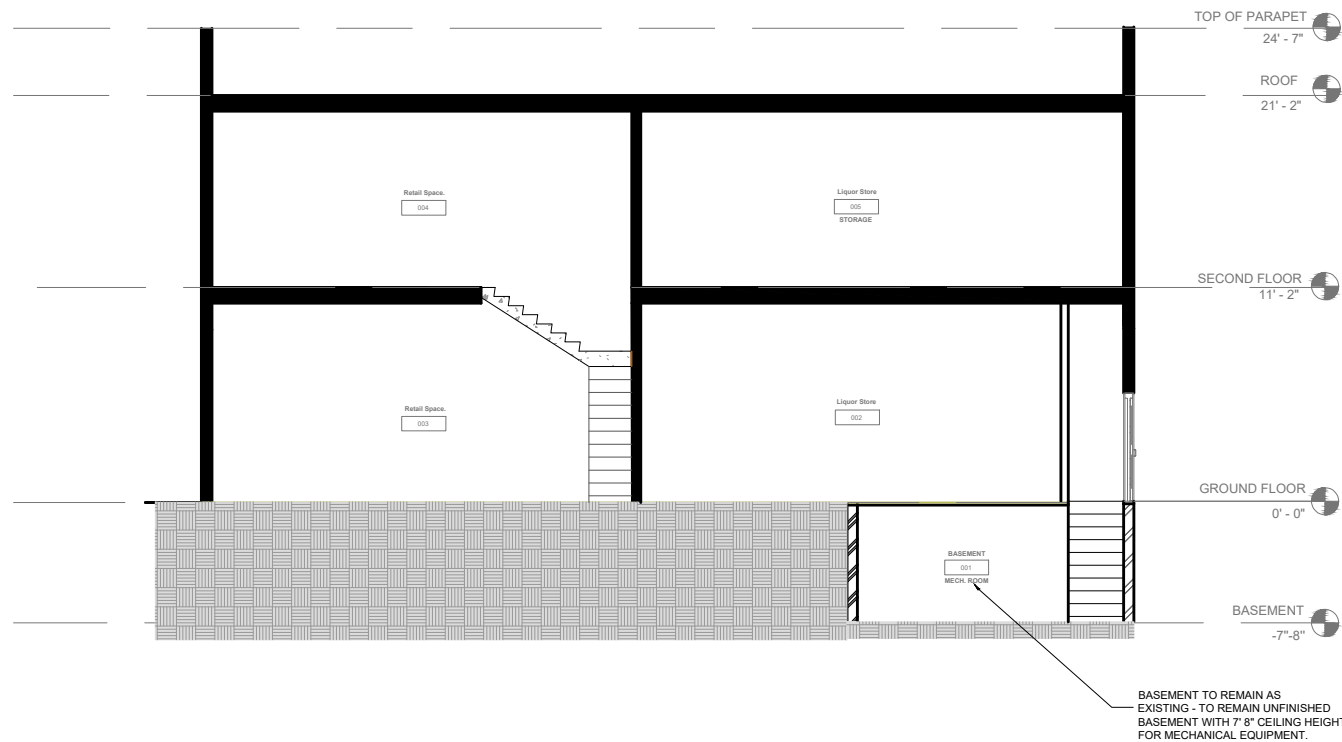
PROJECT # FILE NAME

DRAWING NUMBER

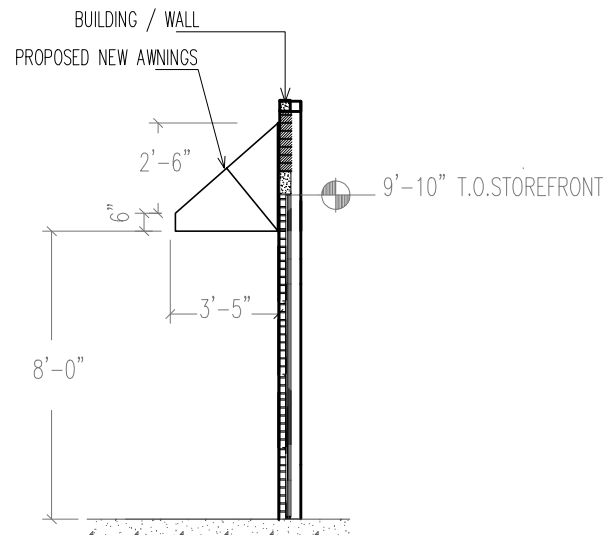
A119



1 SECTION 1
3/32"-1'0"



2 SECTION 2
3/32"-1'0"



3 AWNING DETAIL.
3/16"-1'0"

EXISTING CONDITIONS.



71B CLINTON ST Malden, MA 02148 Tel: 617 318-6056

PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145

CLIENT
JOHN WOOD

PROJECT TEAM
Designer Nathalia Quirino 857 888-1216
Engineer Nazieh R. Hammouri (857) 312-9212

| No. | Description | Date |
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CITY STAMP

DRAWING TITLE

PICTURES

DRAWING INFORMATION

May 24, 2024
DATE OF ISSUE
Issued for permit.
DESCRIPTION
NOT TO SCALE. Nathalia Quirino
SCALE DRAWN BY
479J 479J
PROJECT # FILE NAME

DRAWING NUMBER
A120

PROPOSED DESIGN.



71B CLINTON ST Malden, MA 02148 Tel: 617 318-8056

PROJECT NAME
483 BROADWAY - SOMERVILLE, MA 02145

CLIENT
JOHN WOOD

PROJECT TEAM
Designer Nathalia Quirino 857 888-1216
Engineer Nazieh R. Hammouri (857) 312-9212

| No. | Description | Date |
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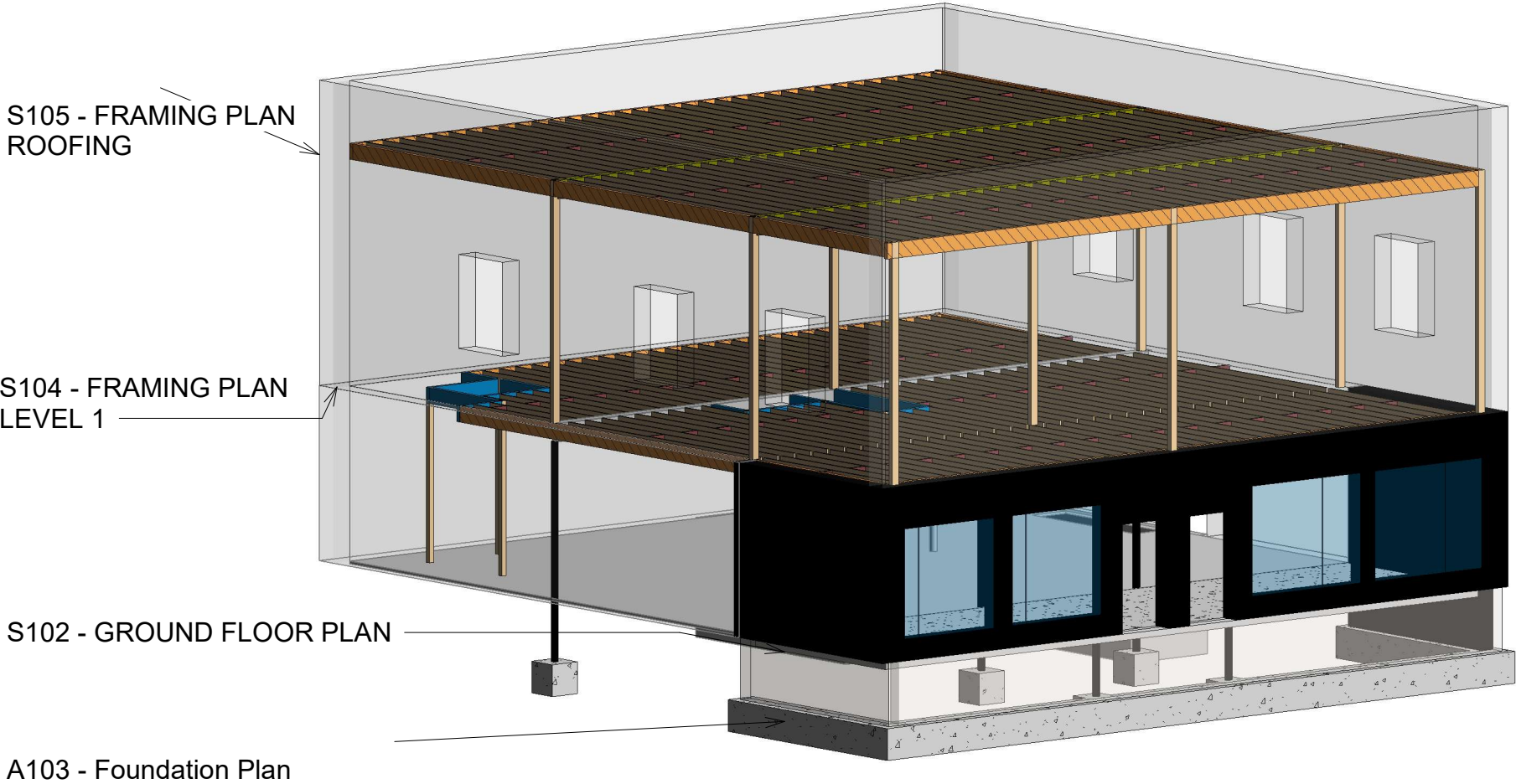
CITY STAMP

DRAWING TITLE
RENDENRINGS

DRAWING INFORMATION

May 24, 2024
DATE OF ISSUE
Issued for permit.
DESCRIPTION
NOT TO SCALE. Nathalia Quirino
SCALE 479J DRAWN BY 479J
PROJECT # FILE NAME

DRAWING NUMBER
A121



STRUCTURAL NOTES

- A.GENERAL
- 1.ALL DESIGN AND CONSTRUCTION REQUIRED OF THE CONTRACTORS BY THE CONTRACT DOCUMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ADOPTED STATE AND LOCAL BUILDING CODES AND OSHA REGULATIONS, SUPPLEMENTED BY THE CONTRACT DOCUMENTS. THE GOVERNING BUILDING CODE USED IN THE STRUCTURAL DESIGN IS THE MASSACHUSETTS BUILDING CODE 6th EDITION WITH THE LATEST ADOPTED AMENDMENTS.
- 2.STRUCTURAL CONTRACT DOCUMENTS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, EQUIPMENT AND SITE CONTRACT DOCUMENTS, THE PROJECT SPECIFICATIONS AND THE SHOP DRAWINGS.
- 3.ALL DIMENSIONS, ELEVATIONS AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- 4.UNLESS OTHERWISE NOTED, DETAILS, SECTIONS AND NOTES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS.

- B.SHOP DRAWINGS
- 1.SUBMIT SHOP DRAWINGS, REVIEWED AND APPROVED BY THE GENERAL CONTRACTOR, FOR CONCRETE AND GROUT MIX DESIGNS, CONCRETE AND MASONRY REINFORCING, STRUCTURAL STEEL, SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL BEFORE FABRICATION, MANUFACTURE, DELIVERY AND ERECTION CAN PROCEED.

- C.CAST-IN-PLACE CONCRETE
- 1.ALL CONCRETE SHALL BE READY MIX COMPLYING WITH THE REQUIREMENTS OF ASTM C94, AND SHALL BE NORMAL WEIGHT AND ATTAIN A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 PSI AT THE END OF 28 DAYS AS DETERMINED BY ASTM C39.

- D.CONCRETE AND MASONRY REINFORCING
- 1.ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60. ALL WELDED WIRE MESH (W.W.M.) SHALL BE SMOOTH BARS CONFORMING TO ASTM A185.

- E.CONVENTIONAL WOOD FRAMING
1. ALL SAWN LUMBER FRAMING MEMBERS SHALL BE SPRUCE-PINE-FIR WITH THE FOLLOWING MINIMUM GRADES: A. JOISTS, RAFTERS, SOLID AND BUILT-UP BEAMS, WALL STUDS AND LINTELS; NO. 1& NO.2 GRADE. B. SILLS AND PLATES; STUD GRADE. C. SOLID WOOD POSTS; NO. 1 GRADE. D. BRIDGING, BLOCKING AND NAILERS; STUD GRADE. 2. ALL "MICROLAM" MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES: A. E = 2,000,000 PSI B. Fb = 2800 PSI C. Ft = 1850 PSI D. Fc (perpendicular) = 500 PSI E. Fc (parallel) = 2700 PSI F. Fv = 285 PSI 3. UNLESS OTHERWISE NOTED, ALL NAILING AND FASTENING SHALL BE IN ACCORDANCE WITH TABLE 2305.2, FASTENING SCHEDULE, 1993 BOCA BUILDING CODE. 4. WOOD SILLS BENEATH ALL INTERIOR AND EXTERIOR BEARING WALLS AND ALL MEMBERS EXPOSED TO WEATHER OR MOISTURE SHALL BE PRESERVATIVE TREATED IN ACCORDANCE WITH THE "AMERICAN WOOD PRESERVERS ASSOCIATION, STANDARD C1". 5. ALL STUD WALLS, BEARING AND NON-BEARING, SHALL HAVE ONE ROW OF CONTINUOUS 2X SOLID BLOCKING BETWEEN STUDS AT MID-HEIGHT. BLOCKING SIZE TO MATCH STUD SIZE. 6. FRAMING MEMBERS SHALL NOT BE NOTCHED, CUT OR ALTERED IN THE FIELD WITHOUT THE SPECIFIC APPROVAL OF THE ENGINEER. 7. ALL METAL CONNECTORS FOR WOOD CONSTRUCTION SHALL BE HOT- DIPPED GALVANIZED METAL SHAPES AS MANUFACTURED BY "SIMPSON STRONG-TIE COMPANY, INC." AND BE ATTACHED BY THE GENERAL CONTRACTOR AS PER THE "SIMPSON STRONG-TIE" SPECIFICATIONS. 8. ALL EXTERIOR WALL SHEATHING SHALL BE 5/8 INCH PLYWOOD EXTERIOR SHEATHING. 9. ALL ROOF SHEATHING SHALL BE 5/8 INCH APA RATED PLYWOOD SHEATHING 32/16. USE EXPOSURE 1 PANELS, EXCEPT USE EXTERIOR PANELS FOR STARTER STRIPS ALONG EAVES AND WHEN LONG CONSTRUCTION DELAYS ARE ANTICIPATED. APPLY PANELS WITH THE FACE GRAIN PERPENDICULAR TO THE RAFTERS OR TRUSSES AND CONTINUOUS OVER TWO OR MORE SPANS. INSTALL PANEL CLIPS ALONG PANEL ENDS BETWEEN EACH RAFTER OR TRUSS. ATTACH PANELS WITH GLUE AND 6d RING OR SCREW SHANK NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. 10. ALL FLOOR SHEATHING SHALL BE 3/4 INCH APA RATED "STUR-I-FLOOR", 24 O/C, TONGUE AND GROOVE. USE EXPOSURE 1 PANELS, APPLY PANELS WITH THE FACE GRAIN PERPENDICULAR TO THE JOISTS OR TRUSSES AND CONTINUOUS OVER TWO OR MORE SPANS. ATTACH PANELS BY GLUE-NAILING AS FOLLOWS: A. SPREAD GLUE IN ACCORDANCE WITH RECOMMENDATIONS OF GLUE MANUFACTURER AND INDUSTRY PRACTICE. B. STAGGER END JOINTS IN EACH SUCCEEDING ROW, LEAVING 1/8 INCH SPACE BETWEEN ALL END AND EDGE JOINTS, INCLUDING TONGUE AND GROOVE EDGES. C. COMPLETE ALL NAILING OF EACH PANEL BEFORE GLUE SETS WITH 6d RING- OR SCREW-SHANK NAILS AT 12 INCHES ON CENTER AT PANEL EDGES AND INTERMEDIATE SUPPORTS. 11. LEAD HOLES FOR WOOD SCREWS AND LAG BOLTS SHALL BE DRILLED 7/8 OF THE SHANK DIAMETER FOR THE DEPTH OF SHANK EMBEDMENT AND 7/8 OF THE THREADED PORTION DIAMETER FOR THE DEPTH OF THE THREAD EMBEDMENT.



71B CLINTON ST - Malden, MA 02148 Tel: 617 318-6056

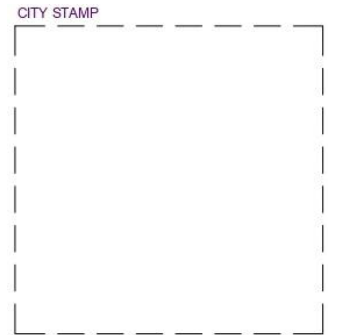
PROJECT NAME
483 BROADWAY, SOMMERVILLE 02145

CLIENT
JOHN WOOD

PROJECT TEAM

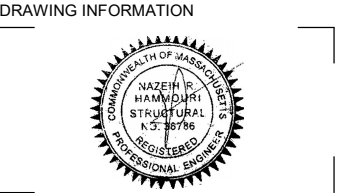
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| Designer Nathália Quirino 857 888-1216 | Engineer Nazieh R. Hammouri 857 312-9212 |
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| No. | Description | Date |
|-----|-------------------|------------|
| 00 | Issued for permit | 12/10/2020 |
| 01 | Issued for permit | 04/19/2021 |
| 02 | Issued for permit | 10/05/2021 |
| 03 | Issued for permit | 07/15/2022 |



DRAWING TITLE

OVERALL
STRUCTURAL



May 24, 2024

DATE OF ISSUE
Issued for Permit

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| DESCRIPTION | NATHALIA QUIRINO MARINA RAMOS |
| SCALE | DRAWN BY |
| 479J | 479J |
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